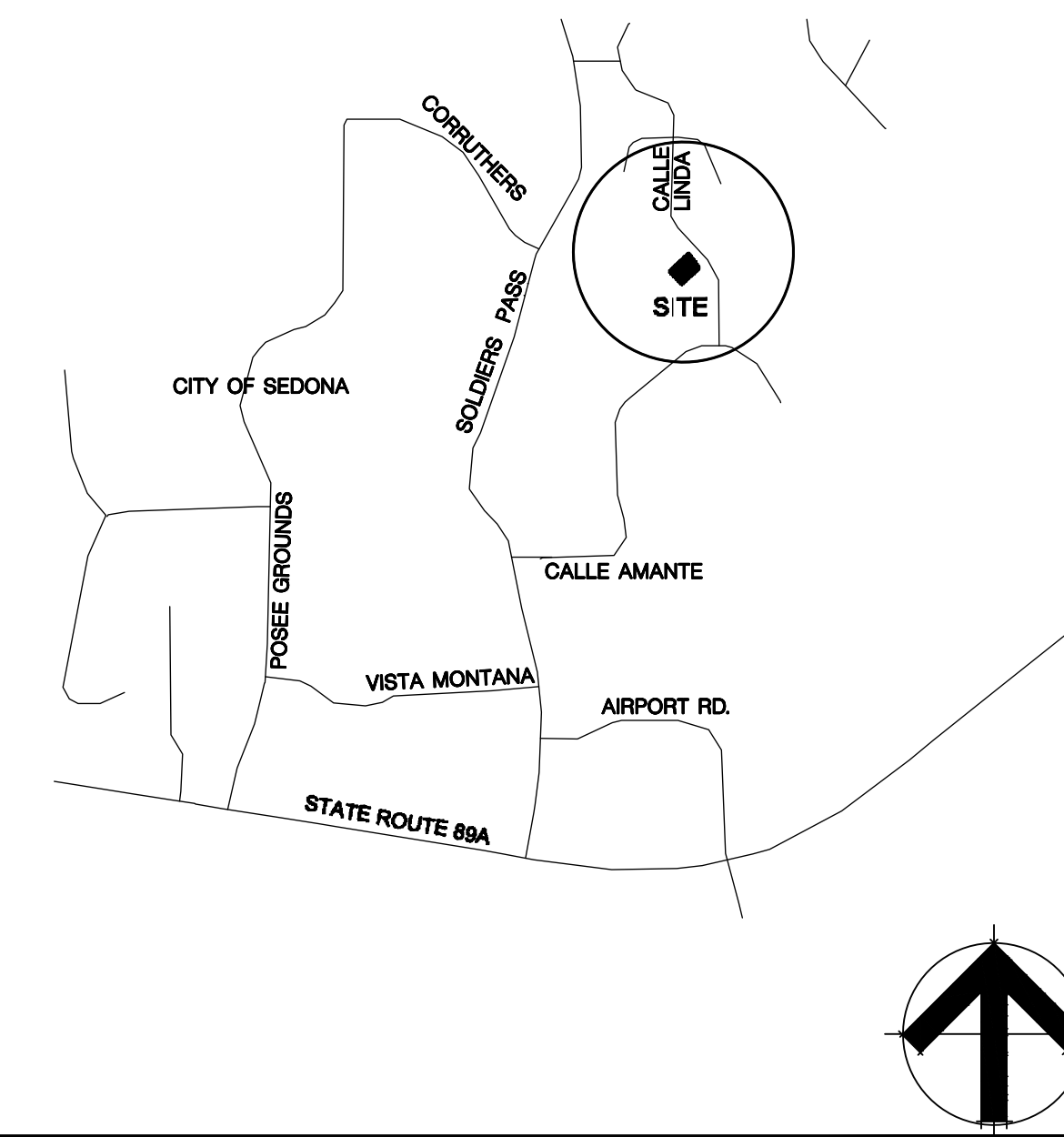




RIVIERA CUSTOM HOMES

VICINITY MAP



BUILDING CODES:

2018 IBC	2018 IMC	2018 IEBC
2017 NEC	2012 IFC	2018 IFGC
2018 IPC		
2018 I.E.C.C.	2010 ADA / ICC A117.1 -2009	

SITE DATA:

ZONING:	R1-10
SITE AREA:	6,098.4 SF / 0.14 AC (NET)
COVERAGE:	40.0%
CONST. TYPE:	V-B
FIRE SPRINKLER:	NO (DEFERRED)
OCCUPANCY:	RESIDENTIAL

BUILDING AREA:

Livable:	2,677 SF
Garage:	531 SF
Porch & Patios:	1,283 SF
Driveway:	743 SF
TOTAL AREA:	5,234 SF

PARCEL NUMBER: 408-46-039

SCOPE OF PROJECT

CLIENT PROPOSES TO BUILD A ONE-STORY, SINGLE FAMILY CUSTOM MASONRY HOME. THE PROPOSED HOME SHALL BE OF A NON COMBUSTIBLE STRUCTURE CONSISTING OF CLAY BLOCK, STEEL TRUSSES AND INSULATED METAL DECK.

APPLICANT:

PHILIP C. REINA
REINA DESIGN STUDIO
16120 W. MYRTLE AVENUE
LITCHFIELD PARK, AZ 85340
Phone: (602) 909-4805
Email: Reinastudio@aol.com

OWNER

ALBERT RIVERA
305 CALLE LINDA
SEDONA, AZ 85336
Phone: (928) 273-6369
Email: RiveraMasonry@aol.com

SOILS REPORT

PREPARED BY:
ETC ENGINEERING & TESTING CONSULTANTS
417 N. ARIZONA STREET, PRESCOTT, AZ 86301
PHONE: 928-778-9001
NOTE: THE FINAL REPORT IS UNDERWAY AND SHALL BE SUBMITTED TO THE CITY UPON ITS COMPLETION.

CONSTRUCTION DRAWING NOTES:

DRAWINGS SHALL NOT BE SCALED. DIMENSIONAL DATA SHALL BE OBTAINED THRU WRITTEN INFORMATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS & DIMENSIONS.

MAKE NO CHANGES FROM THE CONTRACT DOCUMENTS WITHOUT FIRST RECEIVING WRITTEN PERMISSION FROM DRAWING AUTHOR.

WHERE DETAILED INFORMATION IS LACKING OR IF DISCREPANCIES SHOULD APPEAR WITHIN THE CONTRACT DOCUMENTS, REQUEST INTERPRETATIONS FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.

ALL WORK, AS OUTLINED IN THESE DOCUMENTS SHALL CONFORM STRICTLY TO ALL APPLICABLE CODES & ORDINANCES; THE MOST STRINGENT WORK.

WHEN A MATERIAL SYSTEM IS CALLED OUT, ALL PARTS & MATERIALS REQUIRED TO COMPLETE THE SYSTEM SHALL BE FURNISHED & INSTALLED.

IT IS THE INTENT OF THESE CONTRACT DOCUMENTS TO DEFINE A COMPLETE FINISHED FACILITY IN SUFFICIENT DETAIL TO COMPLETE THE SCOPE OF WORK. ANY DISCREPANCY OR OMISSIONS WHICH NORMALLY WOULD BE REQUIRED SHALL BE DONE AS IF SPECIFICALLY NOTED.

SHEET INDEX

CVR	SITE DATA, SHEET INDEX, CONST. NOTES
C-1	CIVIL - GRADING & DRAINAGE PLAN
C-2	CIVIL - SEWER LINE PLAN
C-3	CIVIL - SEWER LINE DETAILS
C-4	CIVIL - SEWER LINE DETAILS
RS	RESULTS OF SURVEY
L-1	LANDSCAPE PLAN & PLANT MATERIAL LEGEND
L-2	ACCENT LANDSCAPE LIGHTING
L-3	LANDSCAPE DETAILS
NP-1	INVENTORY SALVAGE PLAN
SP-1	SITE PLAN
SP-11	ROOF/CONTOUR SITE PLAN
SP-2	SITE PLAN - PORCH & PATIO
A-1	FLOOR PLAN
A-2	BUILDING ELEVATIONS
A-3	BUILDING ELEVATIONS
A-4	BUILDING SECTIONS
A-5	ROOF PLAN & TRELLIS DETAILS
A-6	GENERAL NOTES
A-7	SPECIFICATIONS
S-1	GEN. DESIGN & CODE INFO.
S-2	GENERAL NOTES
S-3	STRUC. DETAILS
S-4	STRUC. DETAILS
S-5	ROOF DETAILS
S-6	LEGEND, SCHEDULES
S-7	FOUNDATION PLAN
S-8	ROOF-FRAMING DETAILS
S-9	FOUNDATION DETAILS
SG-1	TRUSS LAYOUT PLAN
SG-2	TRUSS DETAILS
M-1	MECH. FLOOR PLAN & NOTES
M-2	MECH. NOTES & DETAILS
P-1	PLUMB. SEWER SITE PLAN
P-2	PLUMB. SITE PLAN
P-3	PLUMB. FLOOR PLAN
P-4	PLUMB. SCHEMATICS AND NOTES
P-5	PLUMB. DETAILS
P-6	PLUMB. WTR. CALCS. & SCHEDULES
E-1	ELEC. FLOOR PLAN & NOTES
E-2	ELEC. ONE LINE DIAG. NOTES, SCHE.
E-3	ELEC. LOAD SUMMARY, NOTES

PROJECT TEAM

DESIGNER:	REINA DESIGN STUDIO PHILIP REINA 16120 W. MYRTLE AVENUE LITCHFIELD PARK, AZ 85340 TEL: (602) 909-4805 Email: reinastudio@aol.com
CIVIL:	ARDURRA STEVE LEWIS, P.E. TEL: 602-263-1177 Email: slewis@ardurra.com
STRUCTURAL:	ALLEN MILLER STRUCTURAL ENGINEERING ALLEN MILLER, P.E. TEL: 602-228-5698 Email: allenmiller004@gmail.com
ELECTRICAL:	ALI LOPEZ LIBERTY ENGINEERING, LLC TEL: 480-330-0892 Email: ali_lopez@meins.com
MECH/PLUMB:	RUDY CARRILLO TEL: (602) 758-6088 Email: rudy@teocads.com

NAT. GAS NOTE:

PLEASE REFER TO PLUMBING PLANS FOR ALL INFORMATION REGARD TO THE INSTALLATION AND SIZES OF ALL NATURAL GAS LINES.



DATE	REVISIONS
08-25-23	CITY COMMENTS
06-04-24	CITY COMMENTS
08-24-24	CITY COMMENTS
10-31-24	CITY COMMENTS

Client:	Albert Rivera
	305 CALLE LINDA, SEDONA, AZ 85336
	SITE PLAN

SHEET TITLE:	NEW SEDONA HOUSE
	305 CALLE LINDA, SEDONA, AZ 85336

DATE:	06/04/22	DRAWN:	PR
JOB. NO.	12-28-09	CHECKED:	
SHEET NO.	CVR		

THESE DRAWINGS ARE AN INSTRUMENT OF SERVICE AND THE PROPERTY OF REINA DESIGN STUDIO. THESE DRAWINGS MAY NOT BE REPRODUCED AND REPRODUCTIONS HEREOF MAY NOT BE USED, WITHOUT THE WRITTEN PERMISSION OF REINA DESIGN STUDIO.

GRADING PLAN for ALBERT RIVERA 305 Calle Linda, Sedona, AZ 86336

A PORTION OF THE EAST 1/2 OF SECTION 12, T17N, R5E G&SRM
CITY OF SEDONA, YAVAPAI COUNTY, ARIZONA

LEGAL DESCRIPTION

LOT 39, OF CASA CONTENTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY OF RECORDER OF YAVAPAI COUNTY, ARIZONA, RECORDED IN BOOK 31 OF MAPS, PAGE 25 THROUGH 30 INCLUSIVE

PARCEL AREAS

6098.4 OR 0.14 AC

PROJECT DESCRIPTION

GRADING PLAN FOR
408-46-039

OWNER/DEVELOPER

ALBERT RIVERA
1948 N REGENT
PRESCOTT VALLEY, AZ 86314-2051
PHONE 928/350-88432
email riveramasonry@aol.com.

ENGINEER

ARDURRA GROUP, INC.
Attn: STEVE R. LEWIS, P.E.
124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE (602) 570-1099
SRLEWIS@ARDURRA.COM

FLOOD NOTE

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT ON FLOOD INSURANCE RATE MAP 04025C1435G, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 30TH, 2010 FOR COMMUNITY NUMBER 040130, IN NAVAJO COUNTY, STATE OF ARIZONA, WHICH IS THE CURRENT FLOOD INSURANCE FIRM MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED

COMMUNITY NUMBER	PANEL NUMBER	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION
040130	C1435G	9/30/10	X	N/A

RETENTION

PERVIOUS AREA = 5500 S.F.
50 CF PER 1000 S.F. REQUIRED
5500/1000 = 6 * 50 = 300 CF
(PROVIDED=450 CF)

EARTHWORK

CUT 80 CY
FILL 75 CY
NET 5 CY (EXPORT)

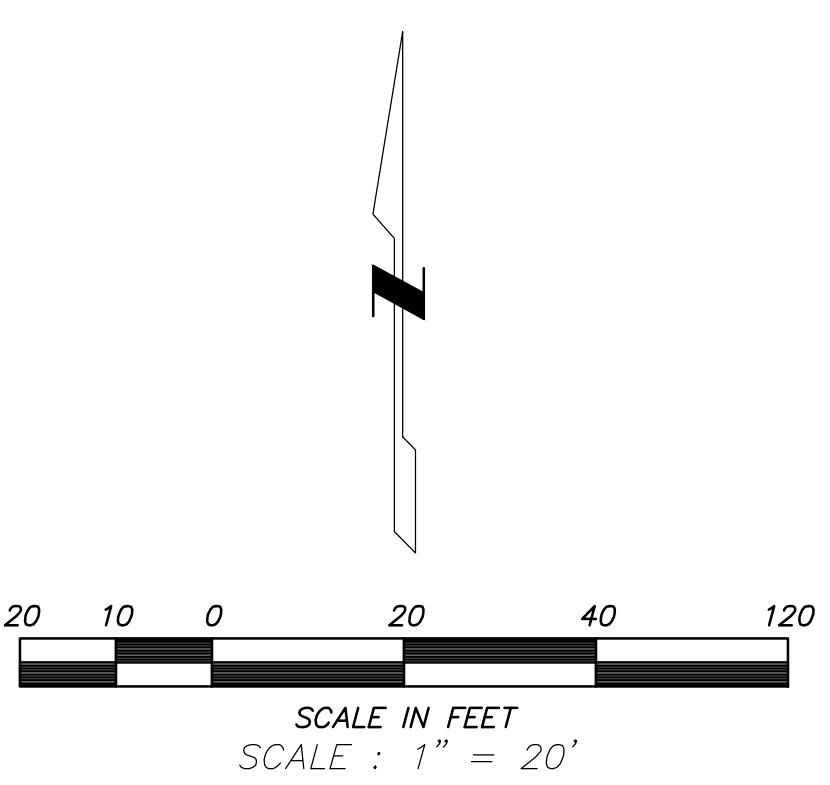
BENCHMARK

FOUND BRASS CAP IN CONCRETE NORTH OF HIGHWAY 89A AND 400' +/- WEST OF AIRPORT ROAD ELEVATION = 4439.46' (NAVD 88 DATUM)

TBM FOUND COTTON PICKER SPINDLE AT THE INTERSECTION OF CALLE LINDA AND CALLE FRANCESCA ROADS, ELEVATION=4483.757

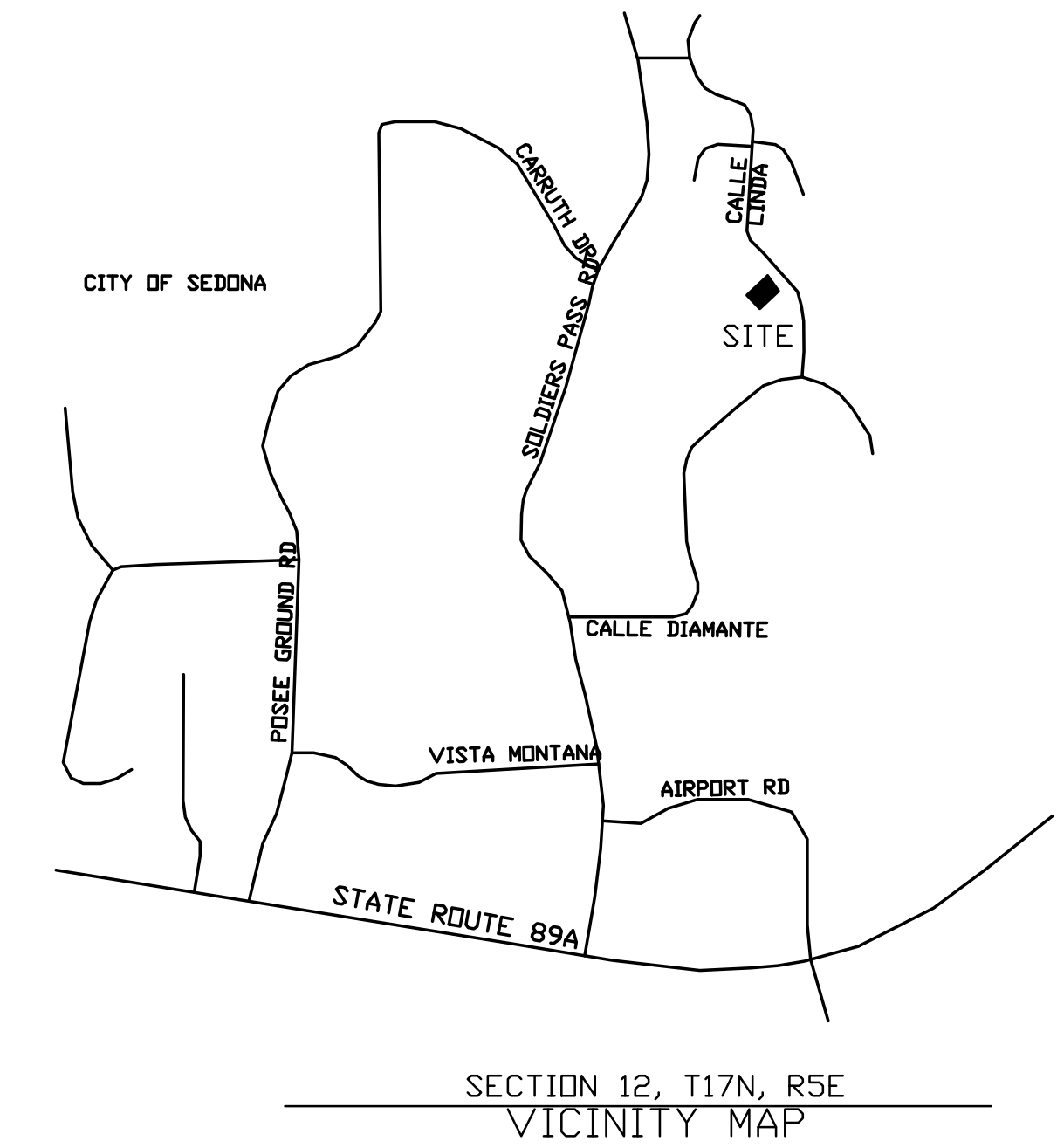
BASIS OF BEARINGS

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 20 NORTH, RANGE 21 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, NAVAJO COUNTY ARIZONA BEARING N 89°44'41" E (ASSUMED BEARING)



CONSTRUCTION NOTES

- 1 CONSTRUCT 4" THICK CONCRETE OR PAVER DWY MATCH EXISTING BACK OF RIBBON CURB; SEE SECTION A.
- 2 CONSTRUCT 4" THICK CONCRETE SIDEWALK ADJACENT TO DRIVEWAY AND HOUSE
- 3 RETAINING STEM WALL. SEE ARCHITECTURAL PLANS FOR DETAILS
- 4 PLANTER WALLS PER ARCHITECTURAL PLANS



LEGEND

- FH (circle with cross) EXISTING FIRE HYDRANT
- WV (circle with dot) EXISTING WATER VALVE
- SCO (circle with dot) EXISTING CLEANOUT
- SMH (circle with cross) EXISTING SEWER MANHOLE
- EPB (square with cross) EXISTING ELECTRICAL PULL BOX
- XFMR (square with X) EXISTING TRANSFORMER
- GM (circle with cross) EXISTING GAS MARKER
- (tree symbol) EXISTING TREE
- (arrow) EXISTING DRAINAGE DIRECTION
- G=86.80 (dashed line) PROPOSED GRADE

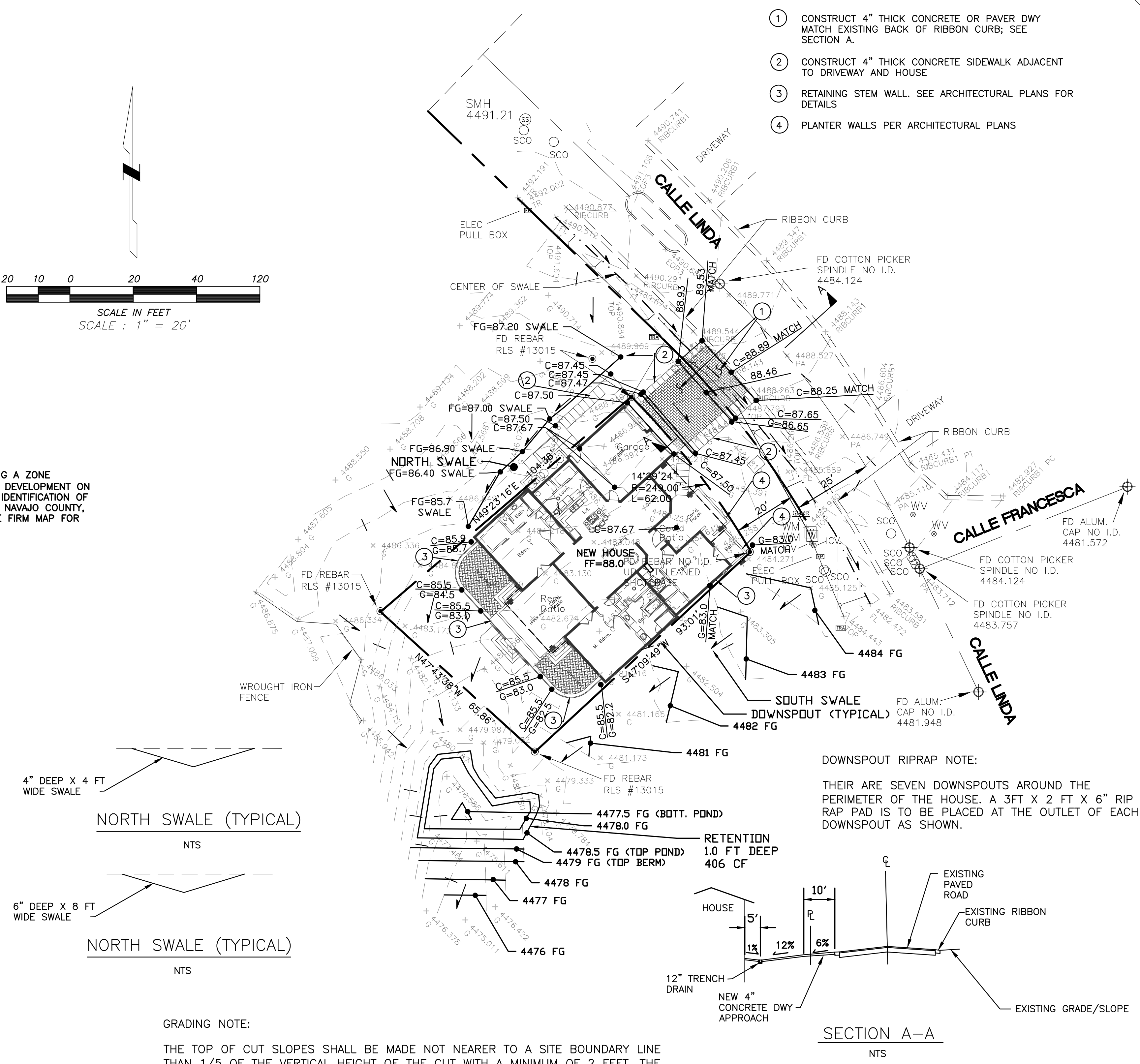
STORMWATER POLLUTION PREVENTION REQUIREMENTS:

A. CONSTRUCTION PHASE: IMPLEMENT STRAW WATTLES, SILT FENCING, OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO MITIGATE STORMWATER POLLUTION AND PREVENT EROSION ONSITE AND SEDIMENT LEAVING THE PROPERTY AND ENTERING THE CITY OF SEDONA MS4. THESE BMPs ARE TO BE PROPERLY INSTALLED AND MAINTAINED. NOTE: PLEASE PROVIDE INFORMATION, LOCATION, AND OTHER DETAILS REGARDING STORMWATER POLLUTION PREVENTION MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION.

B. POST-CONSTRUCTION PHASE: BMPs SHALL BE IMPLEMENTED TO PREVENT STORMWATER POLLUTION AND SITE EROSION ONCE ACTIVE CONSTRUCTION IS COMPLETED. THESE BMPs INCLUDE REVEGETATION, GENTLE SLOPING, TERRACING, AND LANDSCAPING (WITH ROCK OR OTHER SUITABLE MATERIALS AND FILTER FABRIC). THIS SHOULD BE IN CONJUNCTION WITH THE REQUIRED STORMWATER MEASURES ADDRESSING VOLUME, SUCH AS RETENTION/DETENTION BASINS, SWALES, AND RIPRAP PADS.

TEMPORARY TRAFFIC SURFACING:

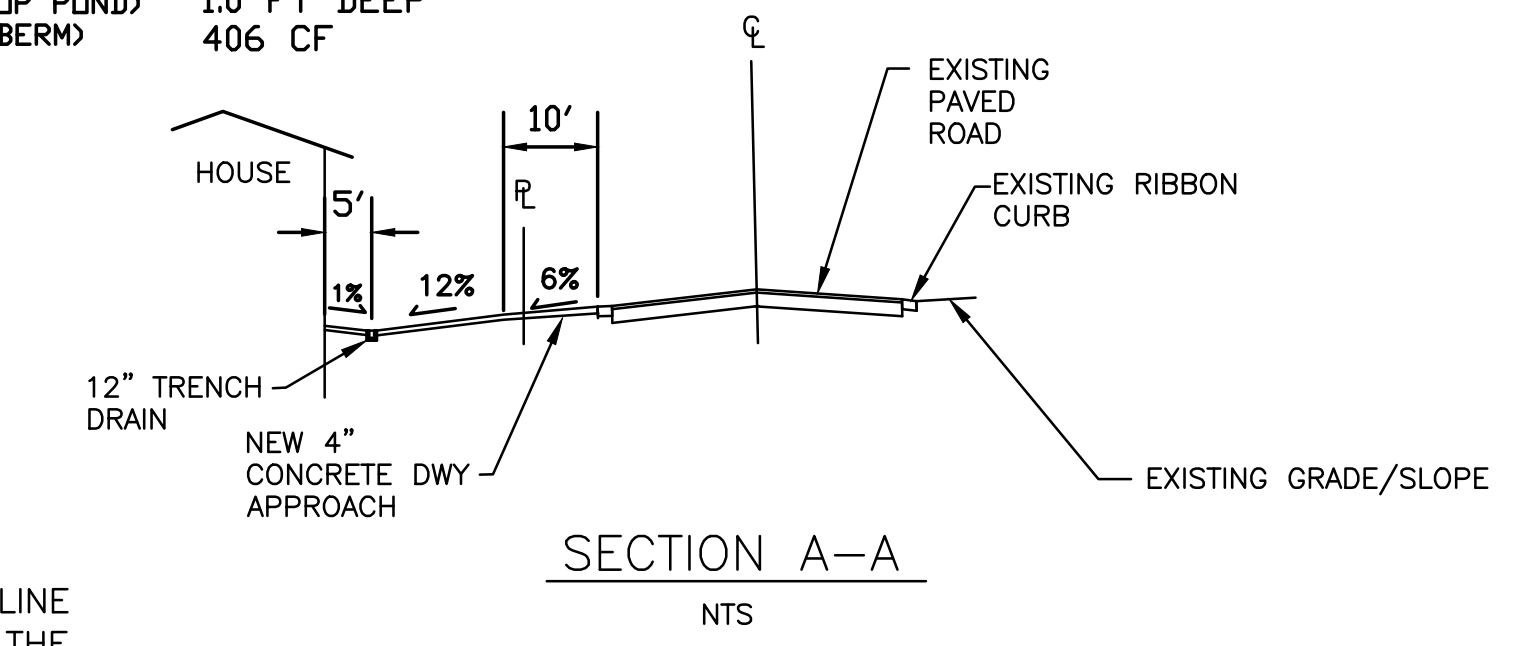
TEMPORARY TRAFFIC SURFACING MUST BE APPLIED PRIOR TO CONSTRUCTION. THE TYPE, LOCATION, AND EXTENT OF TEMPORARY TRAFFIC SURFACING SHALL BE SPECIFIED ON THE SITE PLAN AND SHALL INCLUDE NO LESS THAN 2" THICKNESS OF 3/4" AGGREGATE, 1" ASPHALT PAVEMENT, OR OTHER APPROVED SURFACING. THE SURFACE SHALL EXTEND FROM THE EXISTING ROADWAY TO THE BUILDING FOOTPRINT AND SHALL BE ADEQUATE TO REDUCE TRACKING AND BLOWING DUST.



DOWNSPOUT RIPRAP NOTE:

THEIR ARE SEVEN DOWNSPOUTS AROUND THE PERIMETER OF THE HOUSE. A 3FT X 2 FT X 6" RIP RAP PAD IS TO BE PLACED AT THE OUTLET OF EACH DOWNSPOUT AS SHOWN.

SECTION A-A

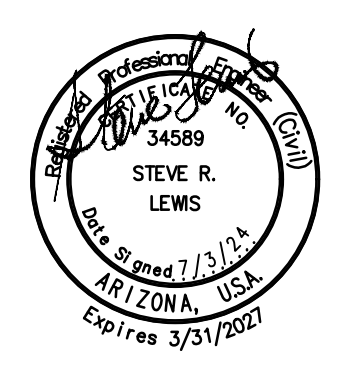
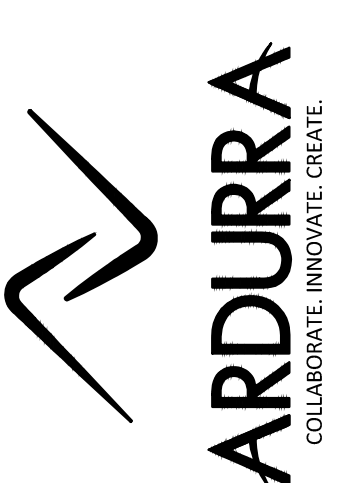


GRADING NOTE:

THE TOP OF CUT SLOPES SHALL BE MADE NOT NEARER TO A SITE BOUNDARY LINE THAN 1/5 OF THE VERTICAL HEIGHT OF THE CUT WITH A MINIMUM OF 2 FEET. THE TOE OF FILL SLOPES SHALL BE MADE NOT NEARER TO A SITE BOUNDARY LINE THAN 1/2 OF THE VERTICAL HEIGHT OF THE FILL, WITH A MINIMUM OF 2 FEET. ALL CUT OR FILL SLOPES STEEPER THAN 2:1 SHALL BE STABILIZED WITH RIPRAP.

7/3/24

O: 602.263.1177
1001 N. CENTRAL AVE
SUITE 900
PHOENIX, AZ 85004
www.ardurra.com



SHEET C1 - GRADING PLAN FOR ALBERT RIVERA
APN 408-46-039 305 Calle Linda, Sedona, AZ 86336
A PORTION OF THE E1/2 OF SEC. 12, T17N, R5E G&SRM CITY OF SEDONA, YAVAPAI COUNTY, AZ

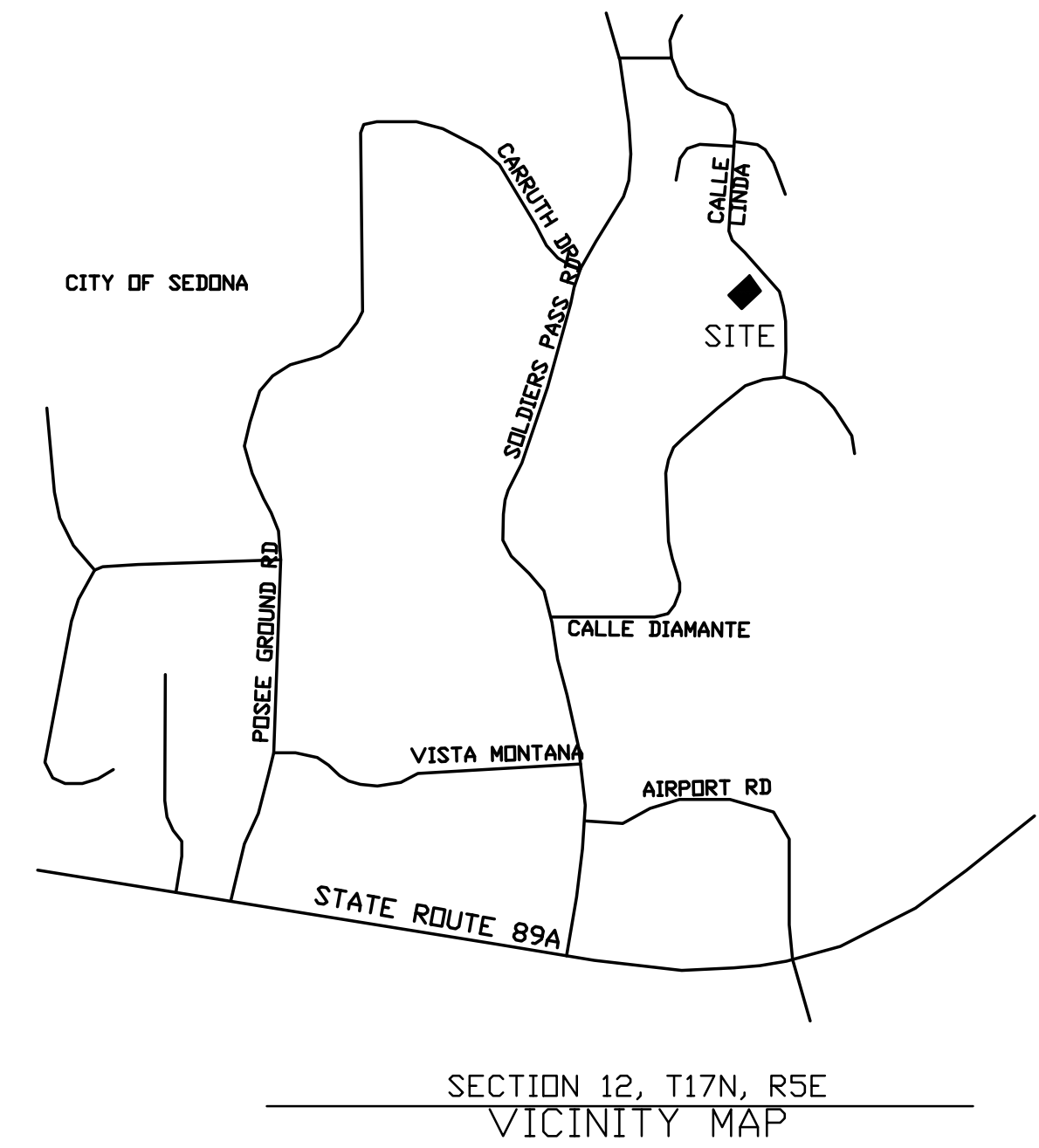


DRAWN BY: RAYSL
START DATE: 3/14/24
FN: 224061 CAD: R2
PROJECT NO.: 224061

STORMWATER POLLUTION PREVENTION PLAN - DEVICES

for ALBERT RIVERA 305 Calle Linda, Sedona, AZ 86336

A PORTION OF THE EAST 1/2 OF SECTION 12, T17N, R5E G&SRM
CITY OF SEDONA, YAVAPAI COUNTY, ARIZONA



OWNER/DEVELOPER
ALBERT RIVERA
1948 N REGENT
PRESCOTT VALLEY, AZ 86314-2051
PHONE 928/350-88432
email riveramasonry@aol.com.

PARCEL AREAS
6098.4 OR 0.14 AC

PROJECT DESCRIPTION
GRADING PLAN FOR
408-46-039

ENGINEER

ARDURRA GROUP, INC.
Attn: STEVE R. LEWIS, P.E.
124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE (602) 570-1099
SRLEWIS@ARDURRA.COM

LEGEND

- FH (Symbol) EXISTING FIRE HYDRANT
- WV (Symbol) EXISTING WATER VALVE
- SCO (Symbol) EXISTING CLEANOUT
- SMH (Symbol) EXISTING SEWER MANHOLE
- EPB (Symbol) EXISTING ELECTRICAL PULL BOX
- XFMR (Symbol) EXISTING TRANSFORMER
- GM (Symbol) EXISTING GAS MARKER
- (Symbol) EXISTING TREE
- (Symbol) EXISTING DRAINAGE DIRECTION
- G=86.80 (Symbol) PROPOSED GRADE

STORMWATER POLLUTION PREVENTION REQUIREMENTS:

A. CONSTRUCTION PHASE: IMPLEMENT STRAW WATTLES, SILT FENCING, OR OTHER APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO MITIGATE STORMWATER POLLUTION AND PREVENT EROSION ONSITE AND SEDIMENT LEAVING THE PROPERTY AND ENTERING THE CITY OF SEDONA MS4. THESE BMPs ARE TO BE PROPERLY INSTALLED AND MAINTAINED.
NOTE: PLEASE PROVIDE INFORMATION, LOCATION, AND OTHER DETAILS REGARDING STORMWATER POLLUTION PREVENTION MEASURES TO BE IMPLEMENTED DURING CONSTRUCTION.

B. POST-CONSTRUCTION PHASE: BMPs SHALL BE IMPLEMENTED TO PREVENT STORMWATER POLLUTION AND SITE EROSION ONCE ACTIVE CONSTRUCTION IS COMPLETED. THESE BMPs INCLUDE REVEGETATION, GENTLE SLOPING, TERRACING, AND LANDSCAPING (WITH ROCK OR OTHER SUITABLE MATERIALS AND FILTER FABRIC). THIS SHOULD BE IN CONJUNCTION WITH THE REQUIRED STORMWATER MEASURES ADDRESSING VOLUME, SUCH AS RETENTION/DETENTION BASINS, SWALES, AND RIPRAP PADS.

CONSTRUCTION NOTES

1. INSTALL STRAW WADDLE IN LOCATIONS SHOWN AND PER DETAIL SPC-1 ON THIS SHEET.
2. INSTALL TEMPORARY CONSTRUCTION ENTRANCE AT LOCATION SHOWN AND PER DETAIL EC-5 ON THIS SHEET.
3. INSTALL CONCRETE WASH OUT AT LOCATION SHOWN AND PER DETAIL GH-4 ON THIS SHEET.

BENCHMARK

FOUND BRASS CAP IN CONCRETE NORTH OF HIGHWAY 89A AND 400' +/- WEST OF AIRPORT ROAD ELEVATION = 4439.46' (NAVD 88 DATUM)

TBM FOUND COTTON PICKER SPINDLE AT THE INTERSECTION OF CALLE LINDA AND CALLE FRANCESCA ROADS, ELEVATION=4483.757

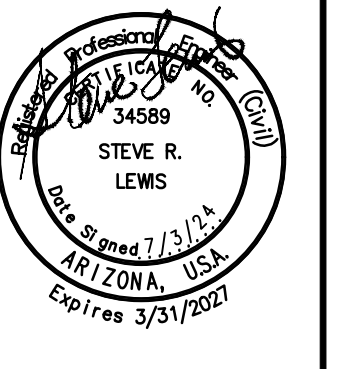
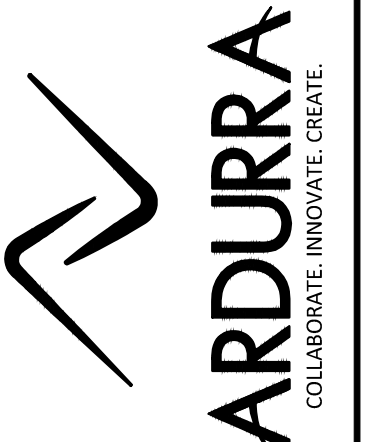
BASIS OF BEARINGS

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 20 NORTH, RANGE 21 EAST OF THE GILA AND SALT RIVER BASE AND MEDIAN, NAVAJO COUNTY ARIZONA BEARING N 89°44'41" E (ASSUMED BEARING)



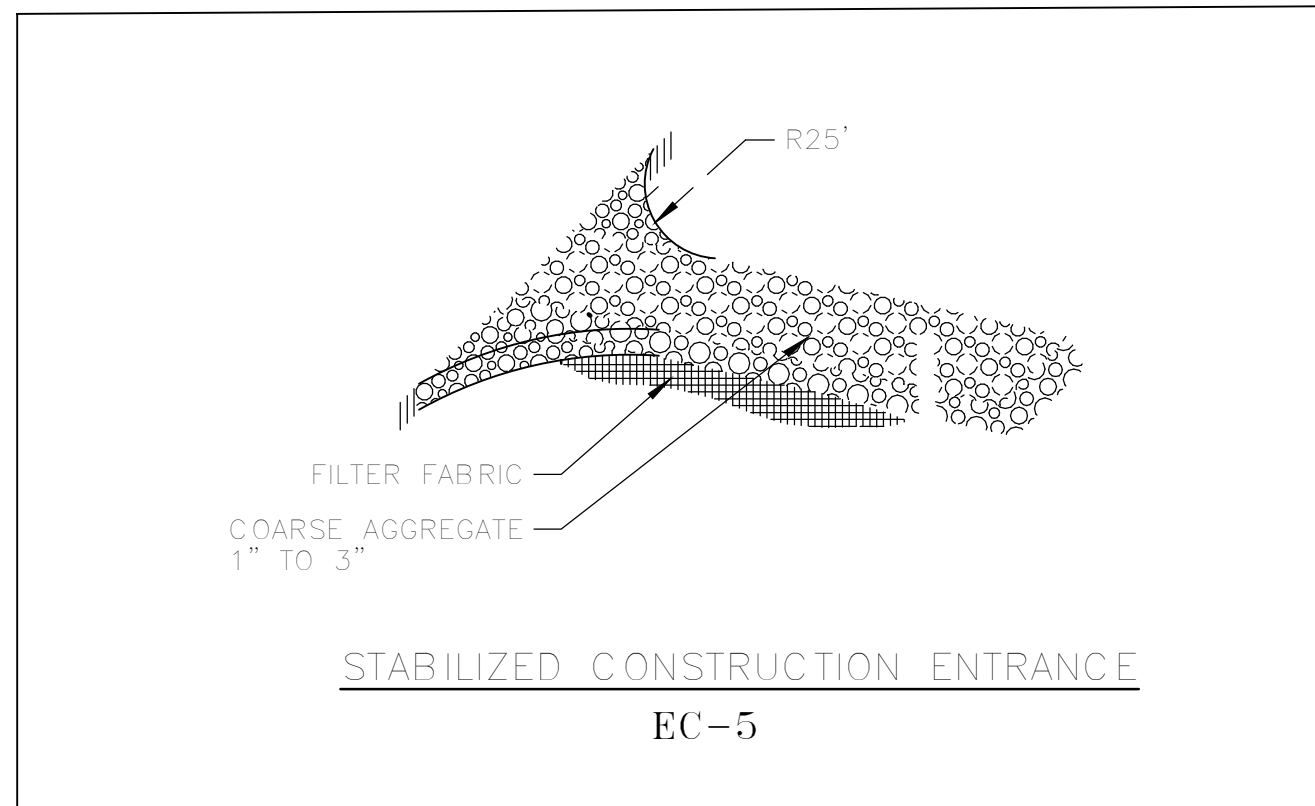
7/3/24

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PHOENIX, AZ 85004
www.ardurra.com



SHEET C2 - STORMWATER POLLUTION PREVENTION PLAN - DEVICES FOR ALBERT RIVERA
APN 408-46-039 305 Calle Linda, Sedona, AZ 86336
A PORTION OF THE E1/2 OF SEC. 12, T17N, R5E G&SRM CITY OF SEDONA, YAVAPAI COUNTY, AZ

DRAWN BY: RAYSL
START DATE: 3/14/24
FIN: 2/24/26 CAD: RZ
PROJECT NO.: 224081



SYMBOL	DESIGNATED WASHOUT AREA	1 OF 2
DIAGRAM	CONDITIONS WHERE PRACTICE APPLIES	
	<ul style="list-style-type: none"> PERIMETER CONTROL SLOPE PROTECTION SEDIMENT TRAPPING DRAINAGEWAY & STREAM PROTECTION TEMPORARY STABILIZATION PERMANENT STABILIZATION & EXPOSURE LIMITS NON-SEDIMENT POLLUTION CONTROL 	

DEFINITION
A temporary pit or bermed area for washout of concrete trucks, tools, mortar mixers, etc.

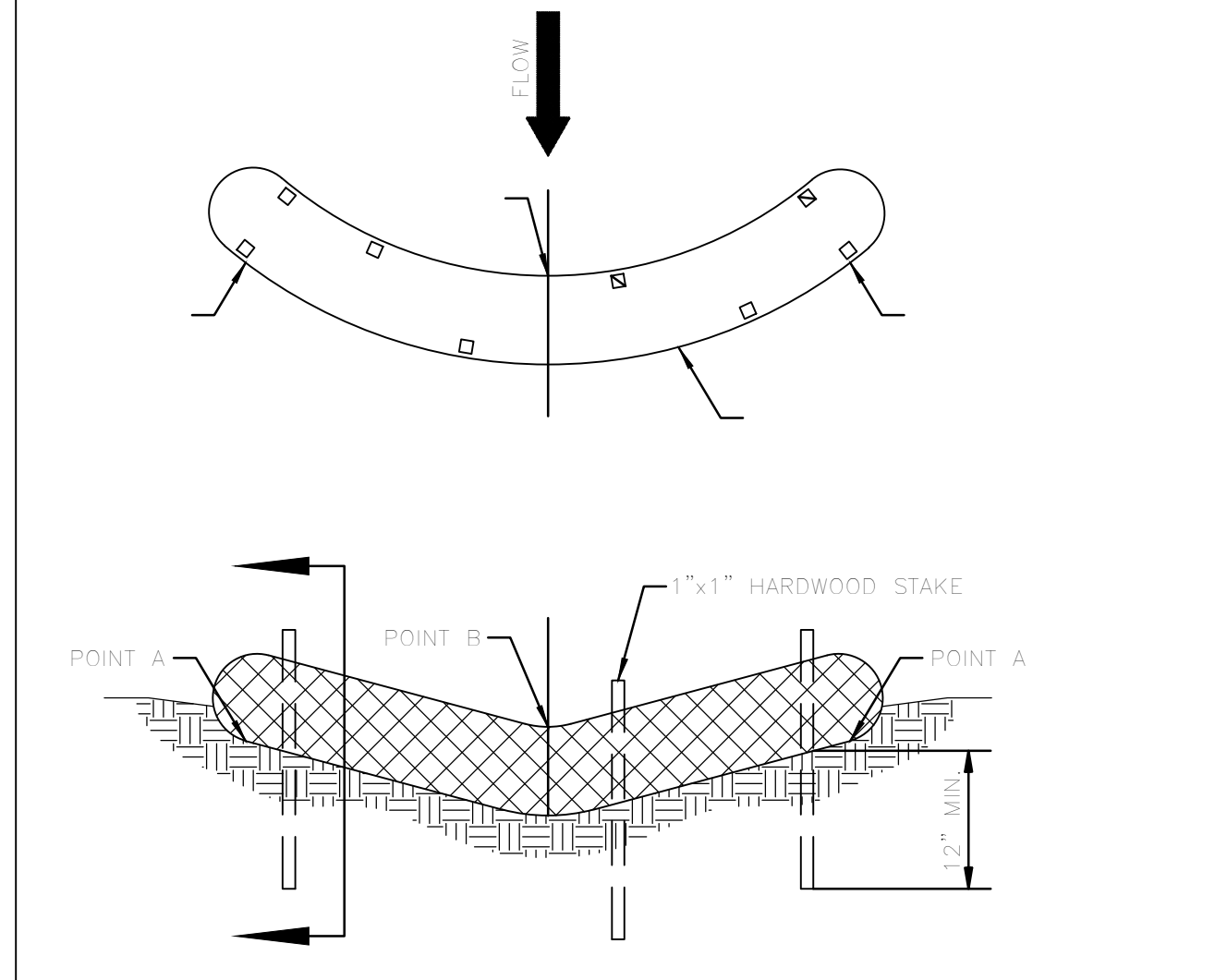
PURPOSE
Improper washout of concrete trucks, tools, etc. may allow fresh concrete or cement laden mortar to enter a storm drainage system.

APPROPRIATE APPLICATIONS
Effective when vehicles, tools and mixers can be moved to the pit location. Where this is not practical, temporary ponds may be constructed to allow for settling and hardening of cement and aggregates. Washout area/pits are appropriate for minor amounts of wash water which result from cleaning of aggregate materials of concrete trucks, tools, etc.

PLANNING CONSIDERATIONS

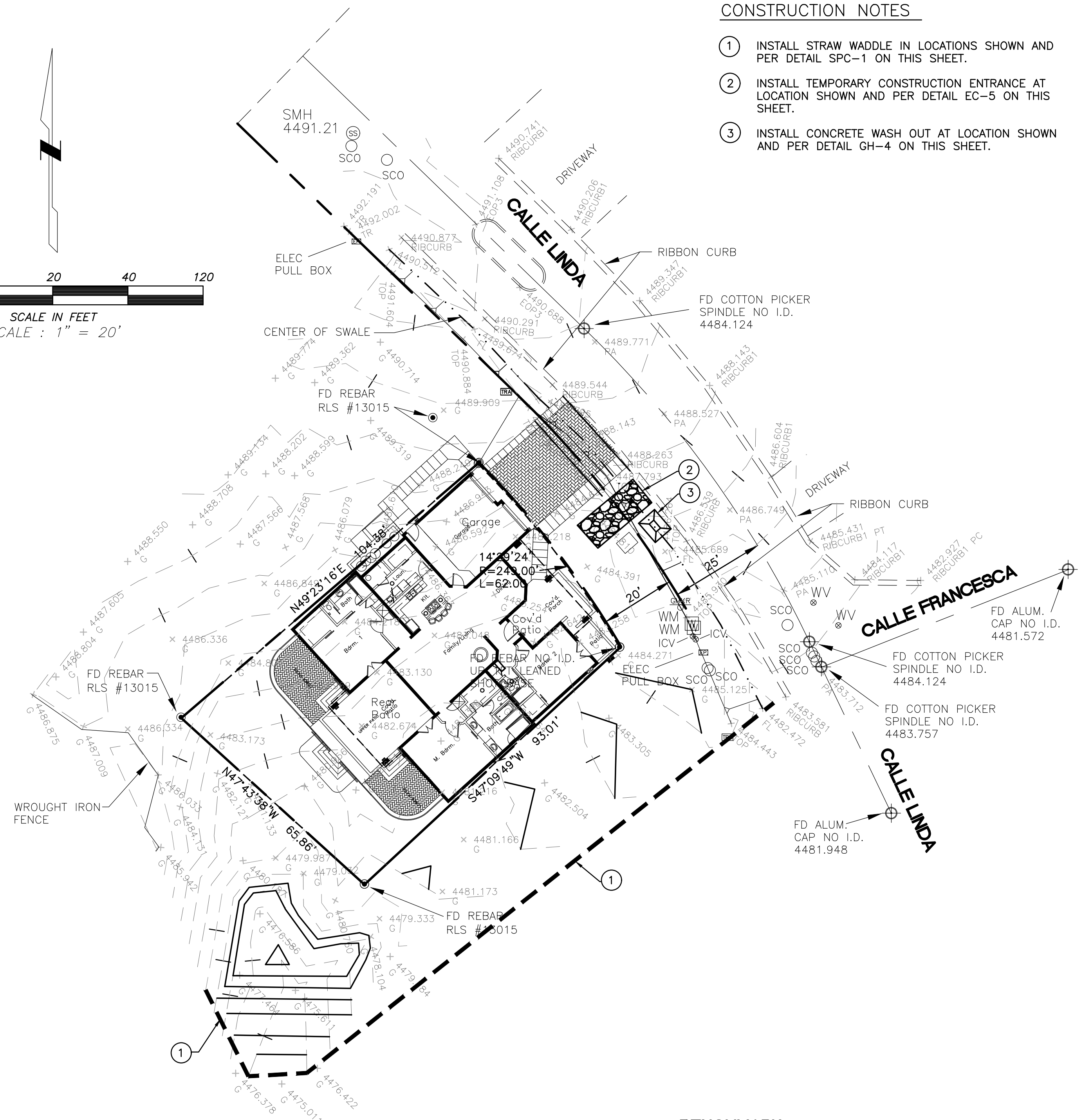
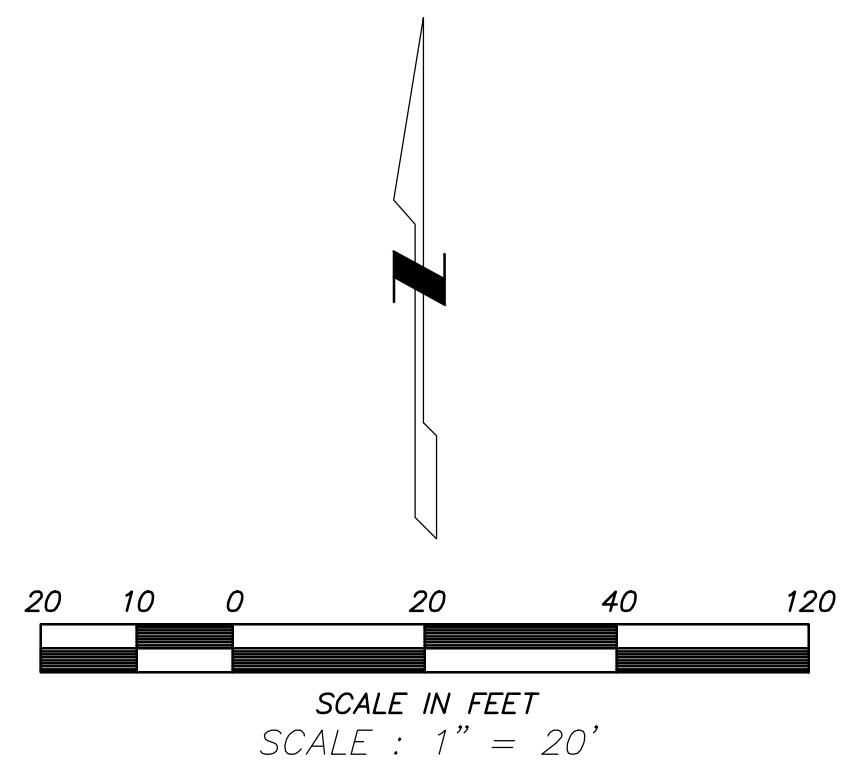
1. Wash out into a slurry pit which will later be backfilled. Do this only with the approval of the property owner.
2. Wash out into a temporary pit where the concrete wash can harden, be broken up and then properly disposed of off-site.

GH-4



1. SEDIMENT WATTLES SHALL BE EMBEDDED 1/3 THE DIAMETER OF THE WATTLE INTO THE SOIL.
2. STAKES SHALL BE EMBEDDED TO A MINIMUM OF 12 INCHES.
3. SEDIMENT WATTLES SHALL BE TIGHTLY ABUTTED WITH NO GAPS.

SPC-1



LEGAL DESCRIPTION

LOT 39, OF CASA CONTENTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY OF YAVAPAI COUNTY, ARIZONA, RECORDED IN BOOK 31 OF MAPS, PAGE 25 THROUGH 30 INCLUSIVE

PARCEL AREAS

6098.4 OR 0.14 AC

PROJECT DESCRIPTION

SEWER SERVICE PLAN FOR
408-46-039

OWNER/DEVELOPER

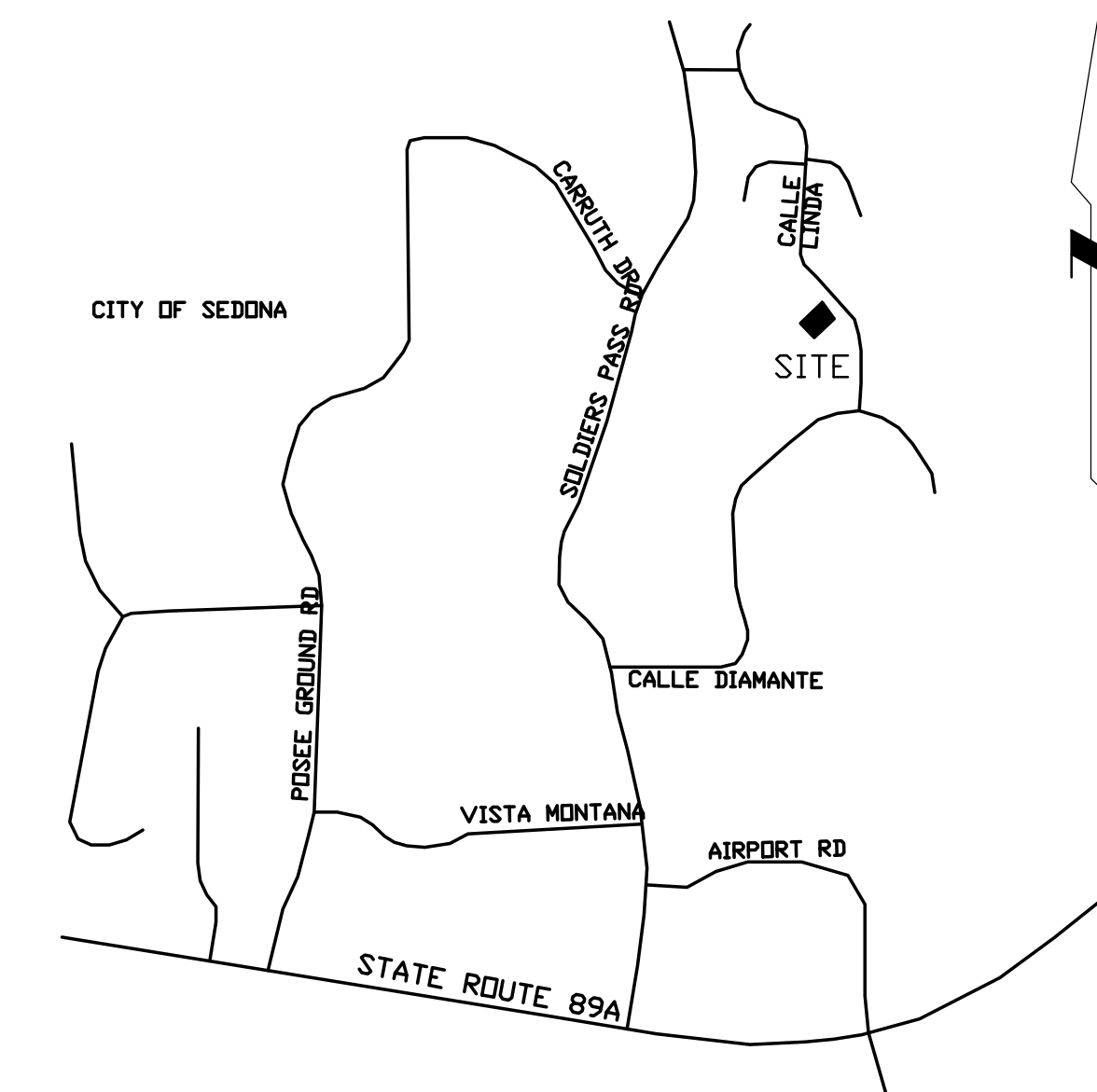
ALBERT RIVERA
1948 N REGENT
PRESCOTT VALLEY, AZ 86314-2051
PHONE 928/350-88432
email riveramasonry@aol.com.

ENGINEER

ARDURRA GROUP, INC.
Attn: STEVE R. LEWIS, P.E.
124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE (602) 570-1099
SRLEWIS@ARDURRA.COM

SEWER SERVICE PLAN for ALBERT RIVERA 305 Calle Linda, Sedona, AZ 86336

A PORTION OF THE EAST 1/2 OF SECTION 12, T17N, R5E G&SRM
CITY OF SEDONA, YAVAPAI COUNTY, ARIZONA



SECTION 12, T17N, R5E
VICINITY MAP

LEGEND

- FH EXISTING FIRE HYDRANT
- WV EXISTING WATER VALVE
- SCO EXISTING CLEANOUT
- SMH EXISTING SEWER MANHOLE
- EPB EXISTING ELECTRICAL PULL BOX
- XFMR EXISTING TRANSFORMER
- GM EXISTING GAS MARKER
- EXISTING TREE

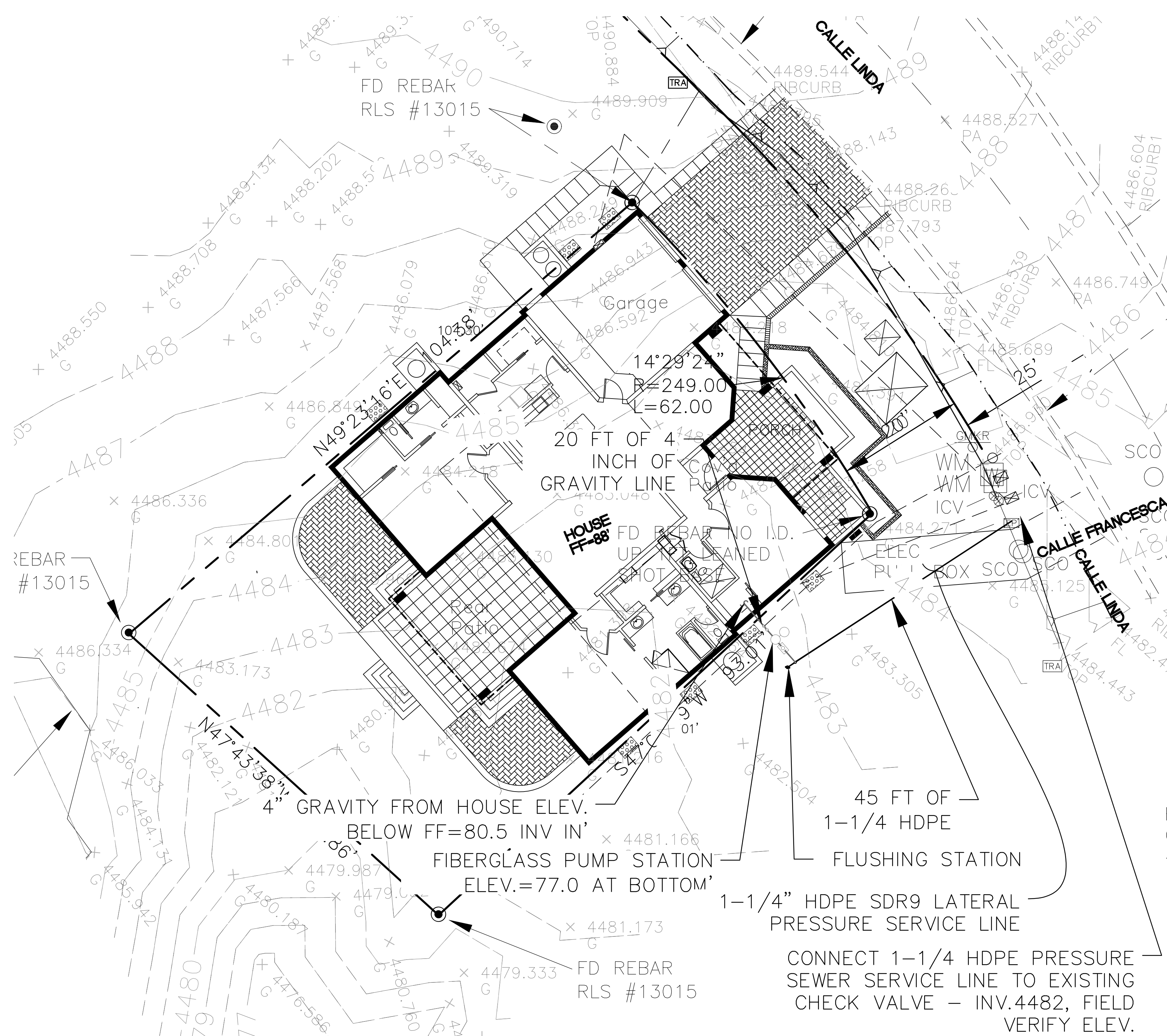
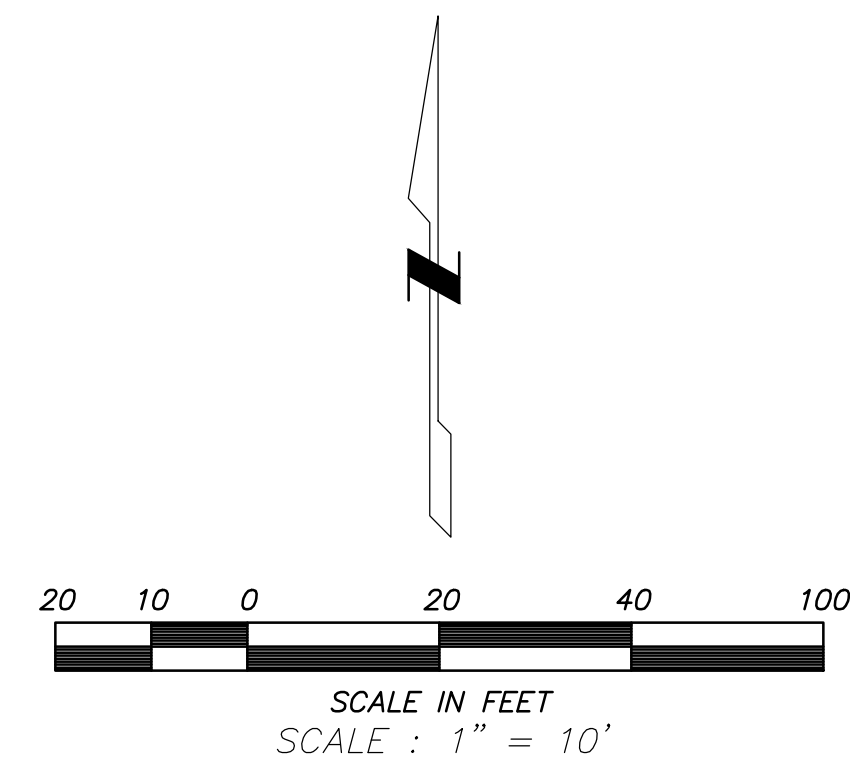
NOTE:

THIS SHEET (CIVIL) IS INTENDED TO SHOW THE SEWER SERVICE (1-1/4" HDPE PRESSURE PIPE) FROM THE ISOLATION VALVE AT THE HOUSE TO THE CONNECTION TO THE EXISTING PRESSURE SEWER LATERAL AT THE STREET FRONTAGE.

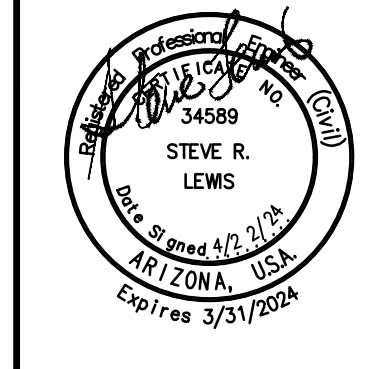
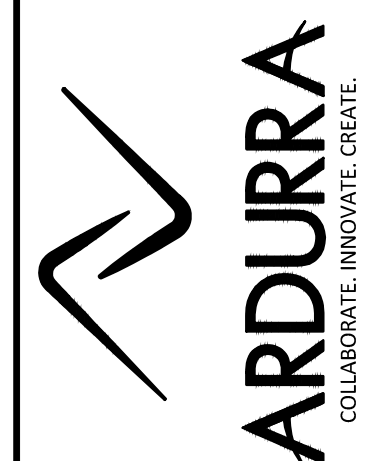
THERE IS A SHARED SERVICE LATERAL AT THE STREET FRONTAGE WHICH IS THEN DIVIDED INTO TWO SERVICES. THE NORTH SERVICE IS FOR THIS PROJECT. THE SOUTH SERVICE IS FOR THE EXISTING HOME ADJACENT.

SEE SEWER SERVICE DETAILS PLAN SHEET C-4 (FROM CITY OF SEDONA) FOR TYPICAL INSTALLATION. SPECIFIC INVERT GRADE NOTES ARE PROVIDED FOR THIS PROJECT.

SEE PLUMBING SHEETS P1-P4 FOR DETAIL INSTALLATION OF SEWER (4") FROM THE HOUSE TO THE E-ONE PUMP, OVERFLOW BASIN, AND ISOLATION VALVE FOR OUTLET PIPE IN A VALVE BOX.



O: 602.263.1177
1001 N. CENTRAL AVE
SUITE 900
PHOENIX, AZ 85004
www.ardurra.com



SHEET C3 - SEWER SERVICE PLAN FOR ALBERT RIVERA
APN 408-46-039 305 Calle Linda, Sedona, AZ 86336
A PORTION OF THE E1/2 OF SEC. 12, T17N, R5E G&SRM CITY OF SEDONA, YAVAPAI COUNTY, AZ

DRAWN BY: RA
START DATE: 03/14/24
FIN. SEWER SERVICE PLAN
PROJECT NO.: 23018



4/22/24

OWNER/DEVELOPER

ALBERT RIVERA
1948 N REGENT
PRESCOTT VALLEY, AZ 86314-2051
PHONE 928/350-88432
email riveramasonry@aol.com.

ENGINEER

ARDURRA GROUP, INC.
Attn: STEVE R. LEWIS, P.E.
124 N. ELDEN ST.
FLAGSTAFF, AZ 86001
PHONE (602) 570-1099
SRLEWIS@ARDURRA.COM

SEWER SERVICE DETAIL PLAN for ALBERT RIVERA 305 Calle Linda, Sedona, AZ 86336

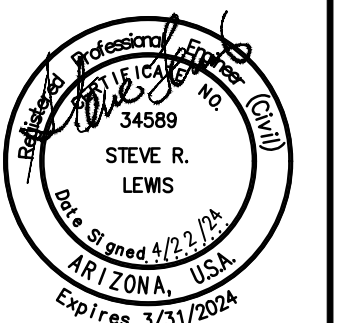
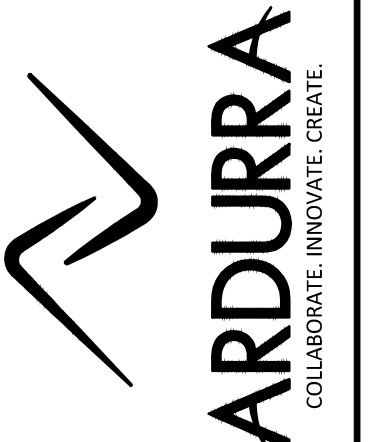
A PORTION OF THE EAST 1/2 OF SECTION 12, T17N, R5E G&SRM
CITY OF SEDONA, YAVAPAI COUNTY, ARIZONA

NOTE:

SEE SEWER SERVICE PLAN FOR LOCATION
AND INSTALLATION OF 30" X 60"
FIBERGLASS PUMP STATION

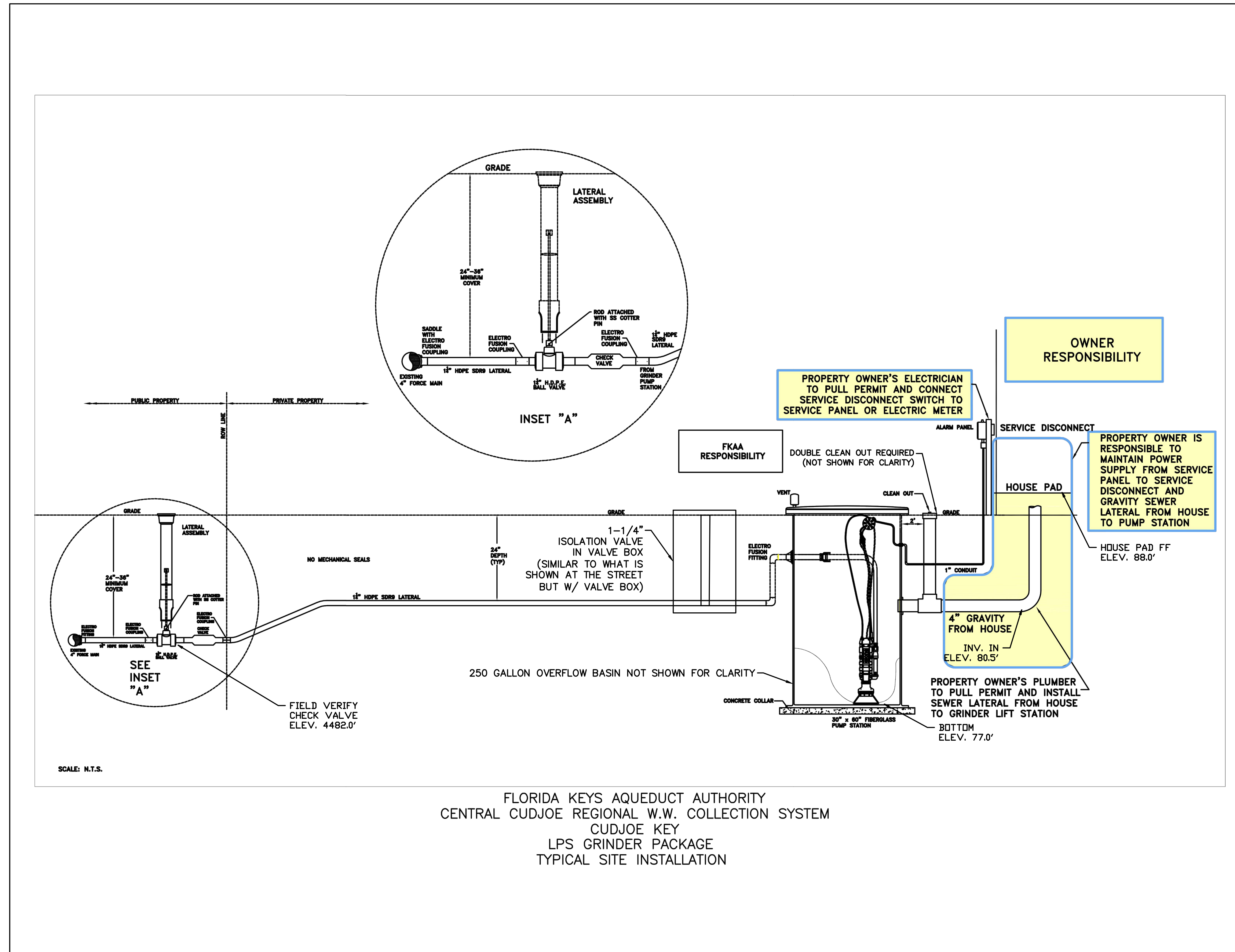
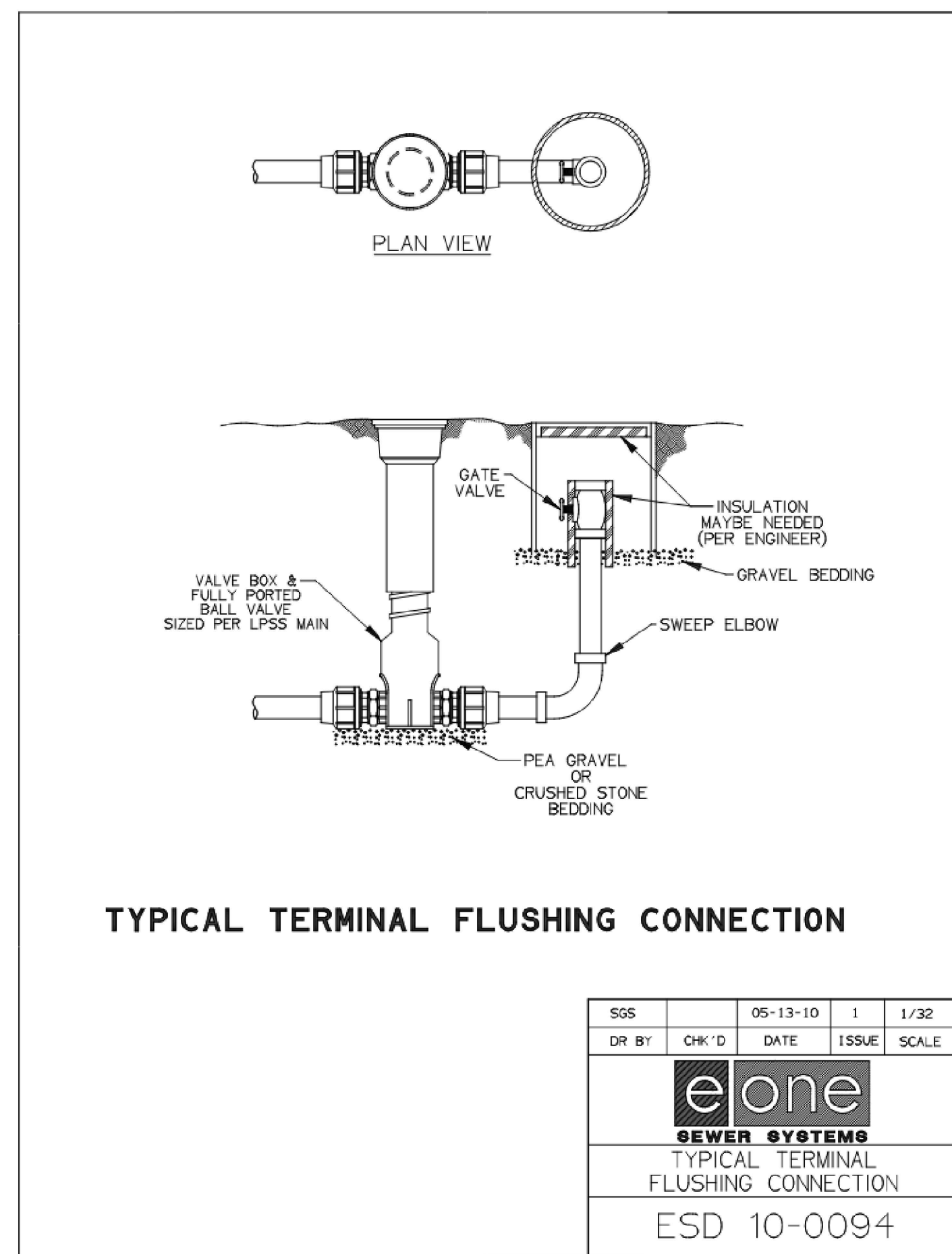
4/22/24

O: 602.263.1177
1001 N. CENTRAL AVE
SUITE 900
PHOENIX, AZ 85004
www.ardurra.com



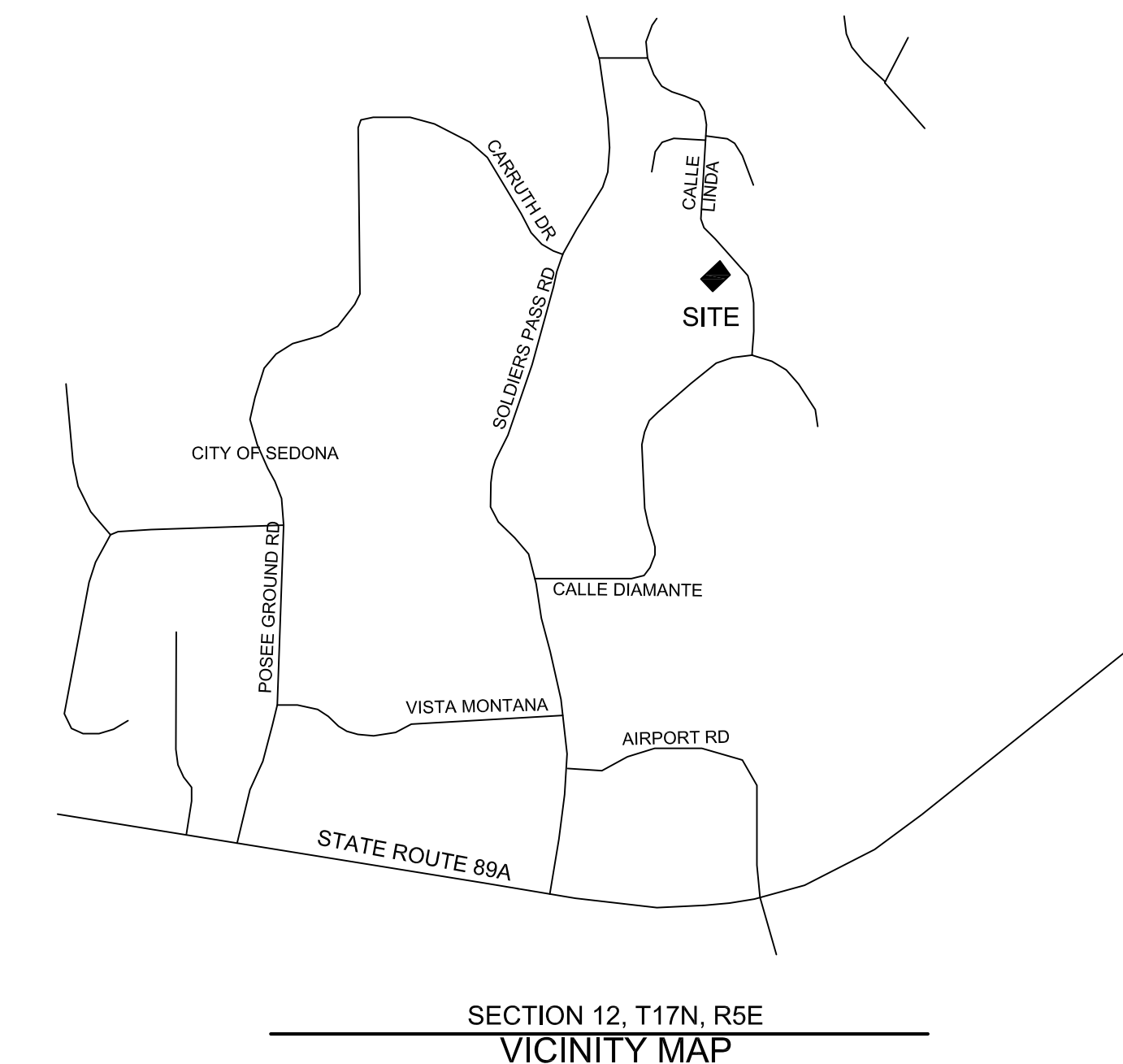
SHEET C4 - SEWER SERVICE DETAIL PLAN FOR ALBERT RIVERA
APN 408-46-039 305 Calle Linda, Sedona, AZ 86336
A PORTION OF THE E1/2 OF SEC. 12, T17N, R5E G&SRM CITY OF SEDONA, YAVAPAI COUNTY, AZ

DRAWN BY: RA
START DATE: 03/13/24
FIN. SEWER S. DETAIL
PROJECT NO.: 23018



RESULTS OF SURVEY for ALBERT RIVERA 305 Calle Linda, Sedona, AZ 86336

A PORTION OF THE EAST 1/2 OF SECTION 12, T17N, R5E G&SRM
CITY OF SEDONA, YAVAPAI COUNTY, ARIZONA



LEGAL DESCRIPTION

LOT 39, OF CASA CONTENTA, ACCORDING TO THE PLAT OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF YAVAPAI COUNTY, ARIZONA, RECORDED IN BOOK 31 OF MAPS, PAGE 25 THROUGH 30 INCLUSIVE

PARCEL AREAS

6088.4 OR 0.14 AC

PROJECT DESCRIPTION

RESULTS OF SURVEY FOR
408-46-039

ENGINEER

ESCA ENVIRONMENTAL, INC.
Attn: GENE CETWINSKI, P.E.
6044 W. MICHELLE DR.
GLENDALE, AZ 85308
PHONE (602) 510-2459
GCETWINSKI@AOL.COM

FLOOD NOTE

SAID DESCRIBED PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION "X" BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT ON FLOOD INSURANCE RATE MAP 04025C1435G, WITH A DATE OF IDENTIFICATION OF SEPTEMBER 30TH, 2010 FOR COMMUNITY NUMBER 040130, IN NAVAJO COUNTY, STATE OF ARIZONA, WHICH IS THE CURRENT FLOOD INSURANCE FIRM MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED

COMMUNITY NUMBER	PANEL NUMBER	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEVATION
040130	C1435G	9/30/10	X	N/A

OWNER/DEVELOPER

ALBERT RIVERA
1948 N REGENT
PRESCOTT VALLEY, AZ 86314-2051
PHONE 928/350-88432
email riveramasonry@aol.com.

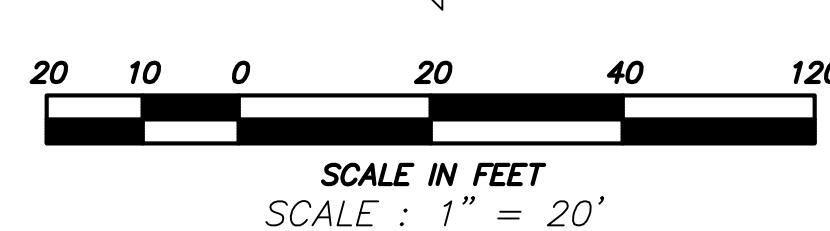
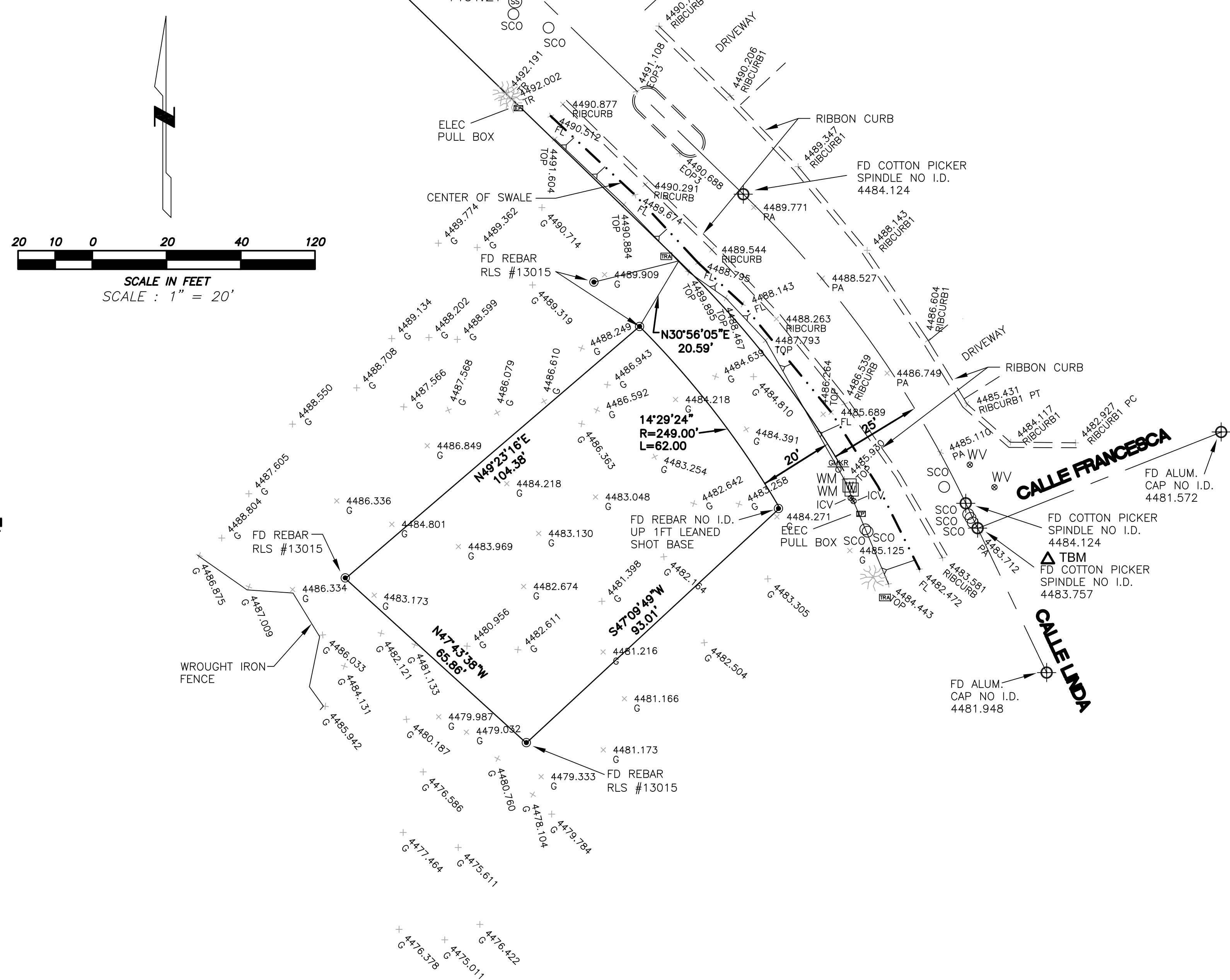
BENCHMARK

FOUND BRASS CAP IN CONCRETE NORTH OF HIGHWAY 89A AND 400' +/- WEST OF AIRPORT ROAD
ELEVATION = 4439.48' (NAVD 88 DATUM)

△ TBM FOUND COTTON PICKER SPINDLE AT THE INTERSECTION OF CALLE LINDA AND CALLE FRANCESCA ROADS
ELEVATION=4483.757

BASIS OF BEARINGS

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 20 NORTH, RANGE 21 EAST OF THE GILA AND SALT RIVER BASE AND MEDIAN, NAVAJO COUNTY ARIZONA BEARING N 89°44'41" E (ASSUMED BEARING)



LEGEND

- FH ● FIRE HYDRANT
- WV ● WATER VALVE
- SCO ○ SEWER CLEANOUT
- SMH ⊙ SEWER MANHOLE
- EPB □ ELECTRICAL PULL BOX
- XFMR TRANSFORMER
- GM ⊗ GAS MARKER
- ☼ TREE

CERTIFICATION

I, EUGENE S. CETWINSKI, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR IN THE STATE OF ARIZONA AND THAT THE SURVEY SHOWN HEREON WAS COMPLETED UNDER MY DIRECT SUPERVISION DURING THE MONTH OF MAY, 2022 AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THE MONUMENTS SHOWN ACTUALLY EXIST.

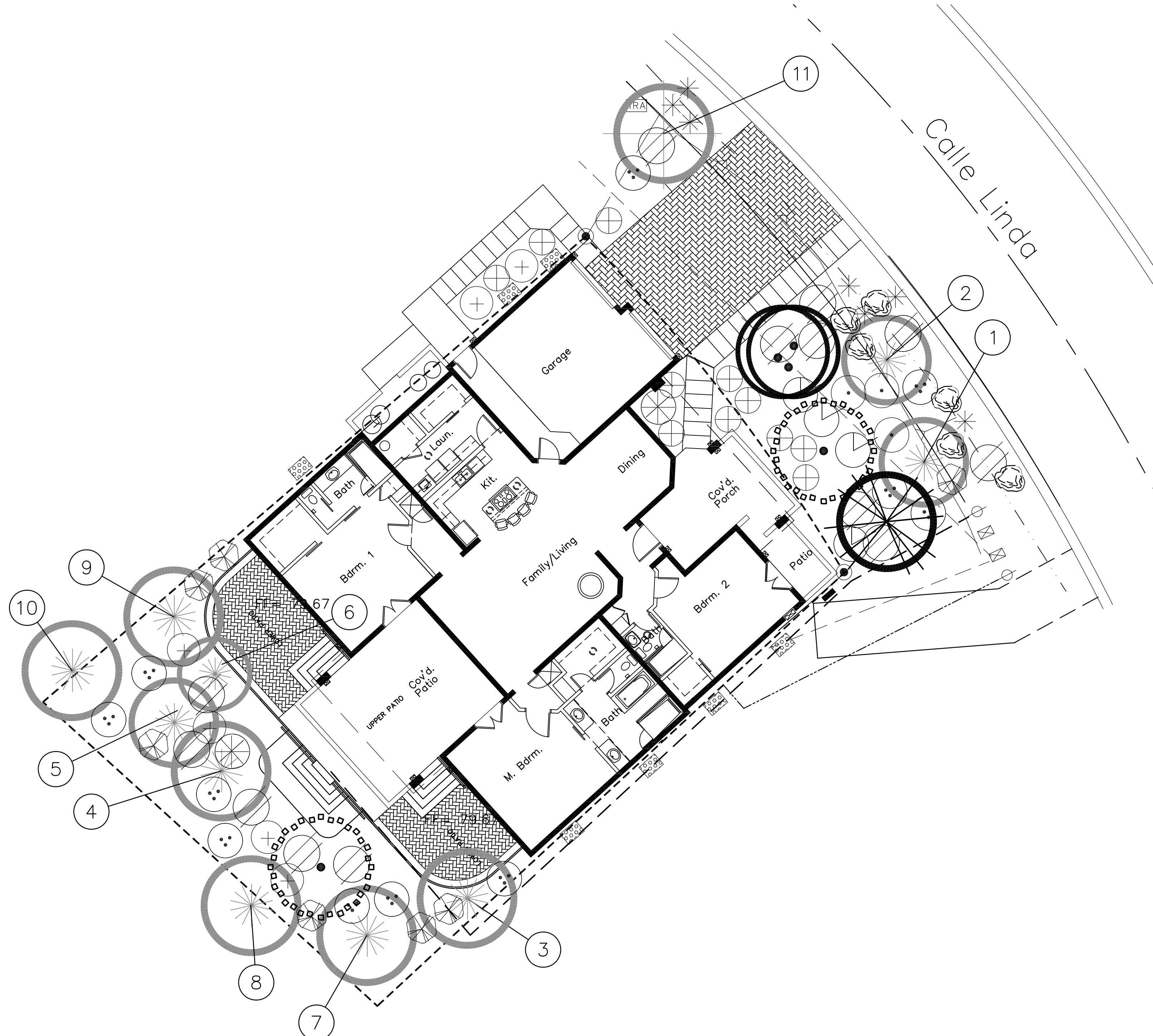
Eugene S. Cetwinski

RLS 16798



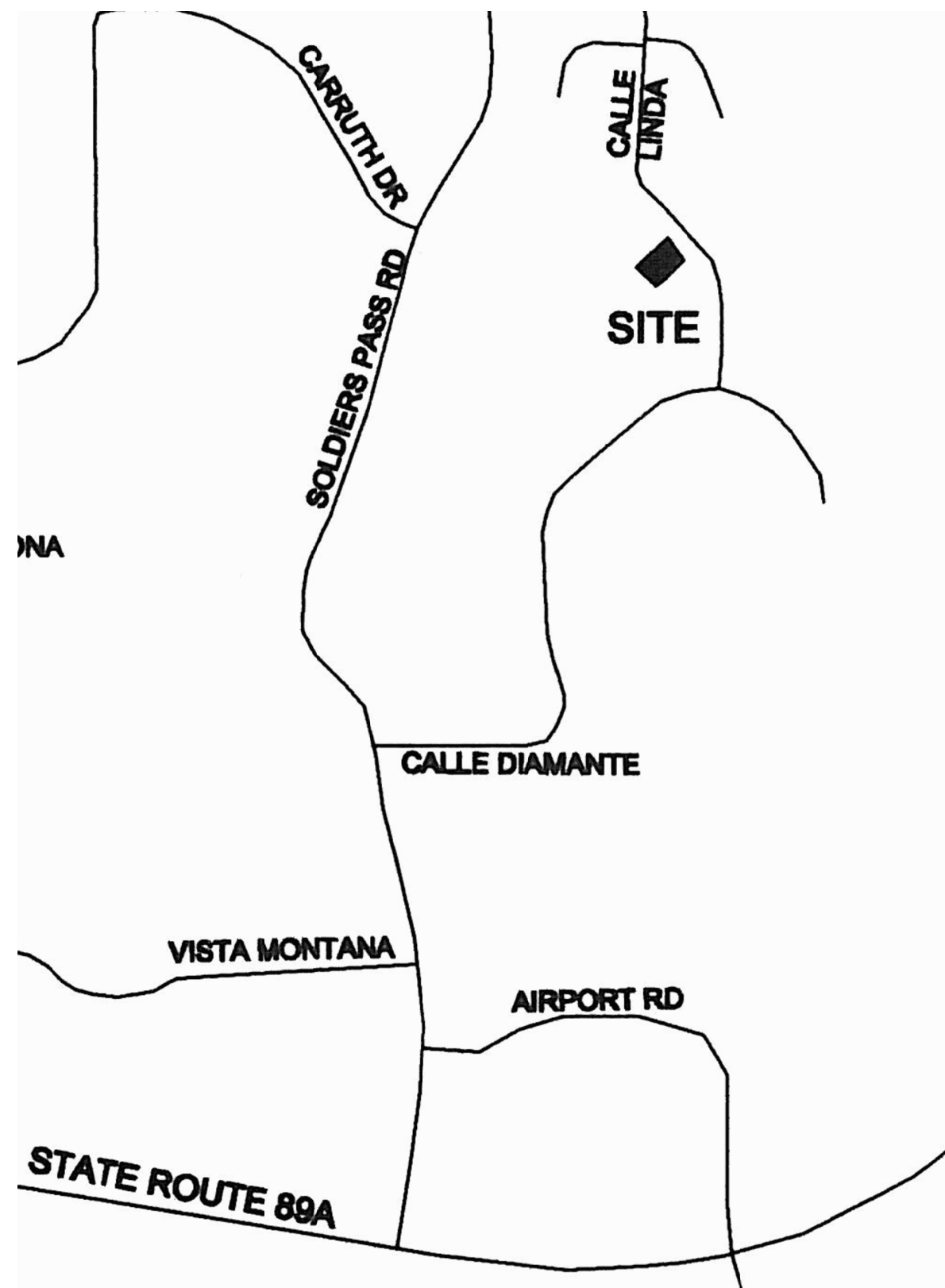
KEY NOTES

- 1 EXISTING CONC. RIBBON CURB
- 2 SEWER CONNECTION TAP
- 3 NEW ELEC. SERVICE ENTRANCE – 400 AMP
- 4 EXIST. UNDERGROUND POWER FEED TO ELEC. PANEL
- 5 EXISTING ELEC. POWER TAP
- 6 EXISTING WATER METER
- 7 NEW 4'-0" WIDE CONC. SIDEWALK
VERIFY WITH OWNER
- 8 NEW DRIVEWAY w/ BRICK PAVERS
- 9 NEW 16" HIGH LANDSCAPE PLANTERS
- 10 NEW 4" WASTE LINE – CONNECT TO EXIST.
PROVIDE NEW CLEAN-OUT AS CODE REQUIRES.
- 11 NEW 16" HIGH BRICK WALL AGAINST WALKWAY
- 12 COV'D. WALKWAY w/ METAL ROOF BETWEEN
EXIST. HOUSE & NEW POOL HOUSE CONNECTING
BOTH STRUCTURES.
- 13 NEW 30' WIDE CONC. WALKWAY
- 14 EXIST. NAT. GAS METER
- 15 EXIST. PAVED CONC. SURFACE
- 16 PROVIDE GEOTECH REPORT RE: PREVIOUS TREES.



PLANT MATERIAL LEGEND

KEY	SYMBOL	BOTANICAL/Common Name	SIZE (Height, Canopy, & Caliper)	QUANT.
EXISTING NATIVE ZONE TREES				
1		Juniperus depeana Alligator Juniper	Existing to remain in place	1
2		Pinus edulis Pinon Pine	Existing to remain in place RE. – Existing relocated	9 1
TREES				
3		Acer x freemanii 'Autumn Blaze' Autumn Blaze Maples	24" Box 8' 4" 1.5" Double-Staked Typ.	1
4		Pyrus calleryana 'Red Spire' Red Spire Bradford Pear	24" Box 9' 4" 1.25" Double-Staked Typ.	2
5		Pinus nigra Australian Black Pine	8' Tall Double-Staked Typ.	1
NATIVE ZONE SHRUBS AND GROUNDCOVER				
6		Arctostaphylos pungens Point leaf Manzanita	5 Gallon	12
7		Cercocarpus montanus Mountain Mahogany	5 Gallon	7
8		Dasylirion wheeleri Desert Spoon	5 Gallon	6
LARGE SHRUBS				
9		Euonymus fortunei 'Golden Prince' Golden Prince Euonymus	5 Gallon	4
10		Mahonia aquifolium Oregon Grape	5 Gallon	2
11		Juniperus chinensis 'Seagreen' Seagreen Juniper	5 Gallon	3
SMALL SHRUBS AND GROUNDCOVERS				
12		Coloneaster dammeri Bearberry Coloneaster	5 Gallon	9
13		Mahonia repens Creeping Mahonia	5 Gallon	10
14		Yucca recurvifolia Curved Leaf Yucca	5 Gallon	2
LANDSCAPE MATERIALS				
15		Decomposed Granite Native Color to match surrounding area.	1/4" Minus, 2" Deep	
16		Surface Select Granite Boulders	4 tons of various size boulders	



LANDSCAPE PLAN



VICINITY MAP



REVISIONS

NO.	DATE	DESCRIPTION

DATE

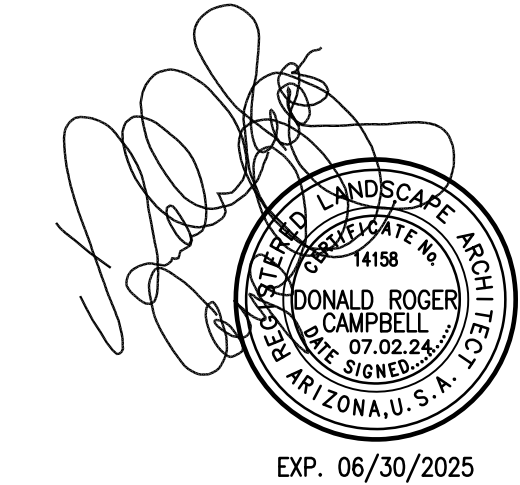
NO.	DATE	DESCRIPTION

Client:
Albert Rivera
 305 CALLE LINDA, SEDONA, AZ 85336

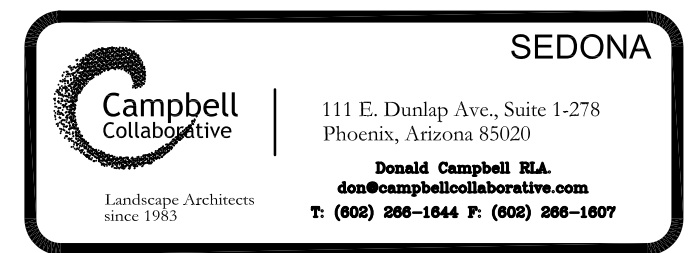
NEW SEDONA HOUSE
 305 CALLE LINDA, SEDONA, AZ 85336

SHEET NO. **L1.0**

DATE: 07/02/24	DRAWN: DRC
JOB. NO. 12-28-69	CHECKED: DRC



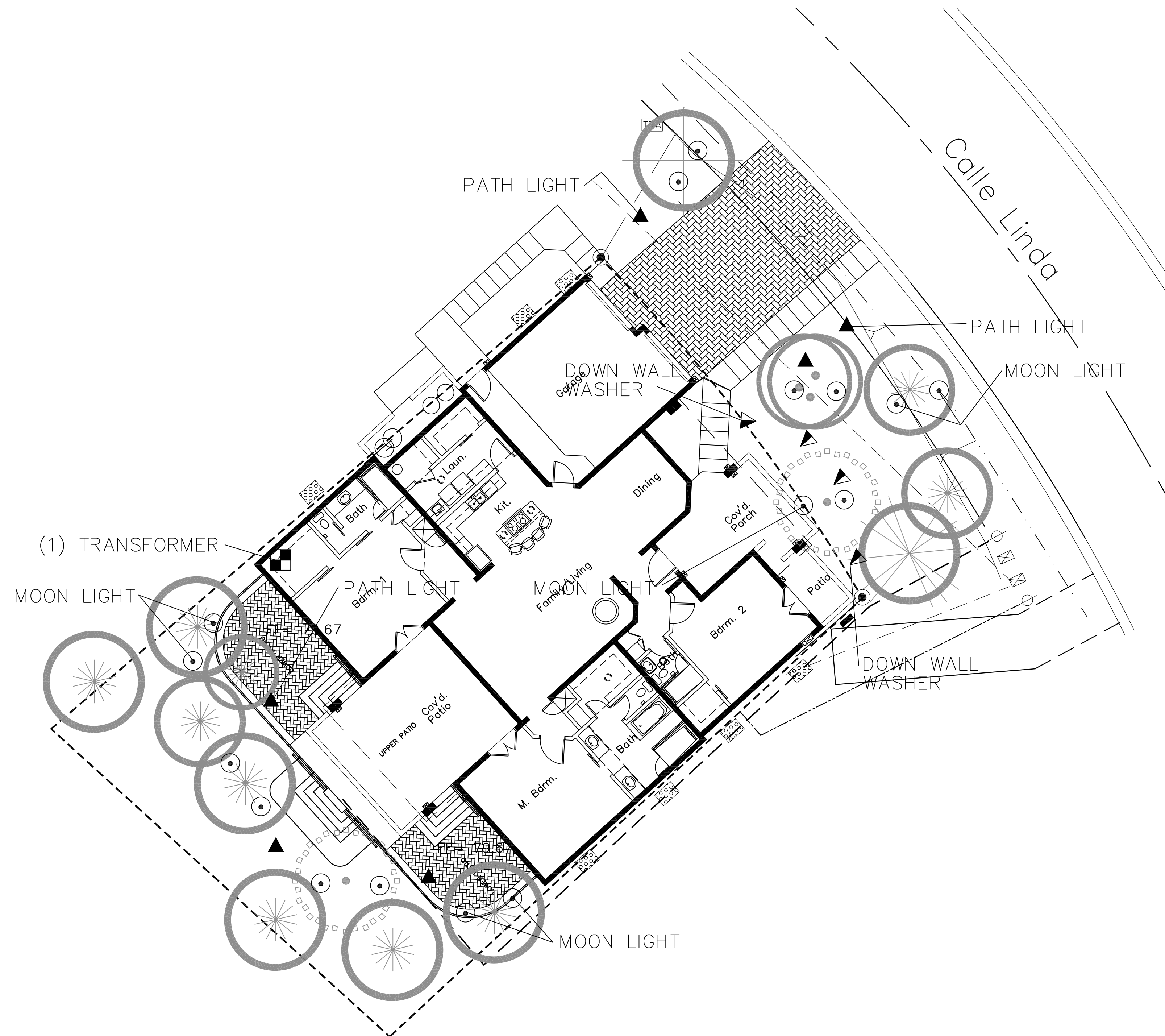
EXP. 06/30/2025



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KEY NOTES

- 1 EXISTING CONC. RIBBON CURB
- 2 SEWER CONNECTION TAP
- 3 NEW ELEC. SERVICE ENTRANCE - 400 AMP
- 4 EXIST. UNDERGROUND POWER FEED TO ELEC. PANEL
- 5 EXISTING ELEC. POWER TAP
- 6 EXISTING WATER METER
- 7 NEW 4'-0" WIDE CONC. SIDEWALK VERIFY WITH OWNER
- 8 NEW DRIVEWAY w/ BRICK PAVERS
- 9 NEW 16" HIGH LANDSCAPE PLANTERS
- 10 NEW 4" WASTE LINE - CONNECT TO EXIST. PROVIDE NEW CLEAN-OUT AS CODE REQUIRES.
- 11 NEW 16" HIGH BRICK WALL AGAINST WALKWAY
- 12 COV'D. WALKWAY w/ METAL ROOF BETWEEN EXIST. HOUSE & NEW POOL HOUSE CONNECTING BOTH STRUCTURES.
- 13 NEW 30' WIDE CONC. WALKWAY
- 14 EXIST. NAT. GAS METER
- 15 EXIST. PAVED CONC. SURFACE
- 16 PROVIDE GEOTECH REPORT RE: PREVIOUS TREES.



LIGHTING LEGEND

KEY	SYMBOL	MANUFACTURER	TYPE	MODEL #
1	▲	FX LUMINAIRE	PATH LIGHT	RW-9LED-18R-DG
2	●	FX LUMINAIRE	MOON LIGHT	VE-3LED-PS-AB
3	▲	FX LUMINAIRE	DOWN WALL WASHER	SL-1LED-W-BV
5	■	FX LUMINAIRE	(1) TRANSFORMER	PX-600-TPC-SS

- ZONES
- 1 FRONT YARD
 - 2 REAR YARD

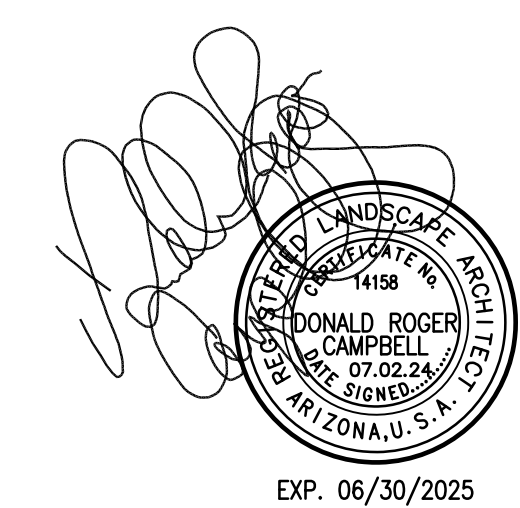
ACCENT LANDSCAPE LIGHTING PLAN



NO.	DATE	REVISIONS

Client:
Albert Rivera
 305 CALLE LINDA, SEDONA, AZ 85336
 ACCENT LANDSCAPE LIGHTING PLAN

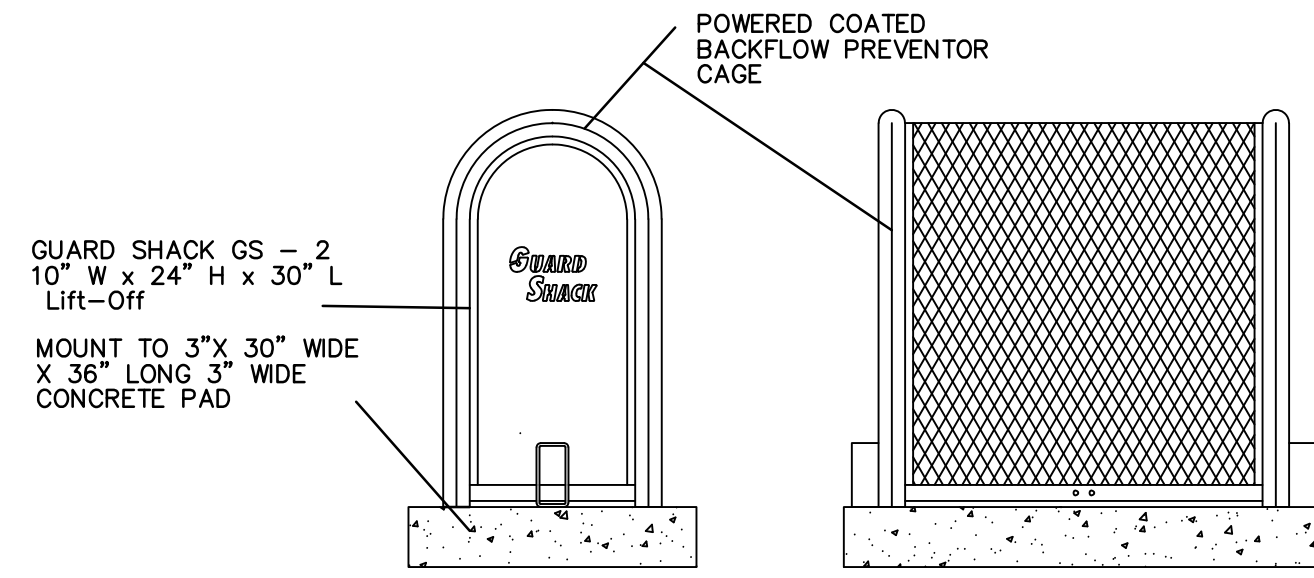
SHEET TITLE:
NEW SEDONA HOUSE
 305 CALLE LINDA, SEDONA, AZ 85336



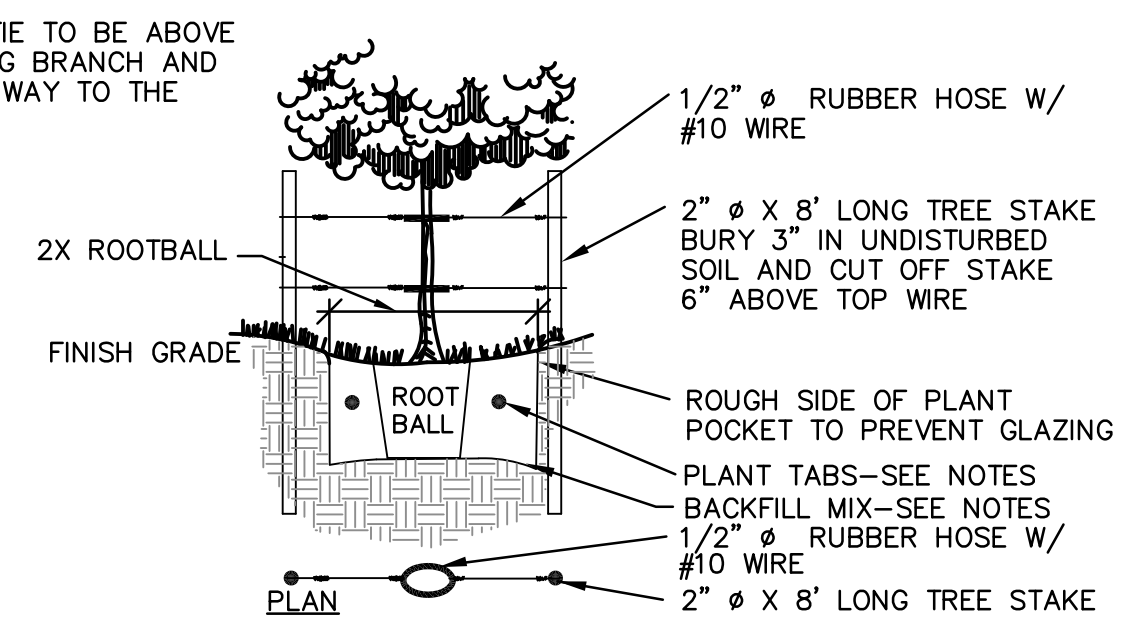
Campbell Collaborative | 111 E. Dunlap Ave., Suite 1-278
 Phoenix, Arizona 85033
 Donald Campbell, AIA
 doc@campbellcollaborative.com
 T: (602) 266-1644 F: (602) 266-1077

DATE: 07/02/24	DRAWN: DRC
JOB. NO. 12-28-69	CHECKED: DRC
SHEET NO. L2.0	
of	

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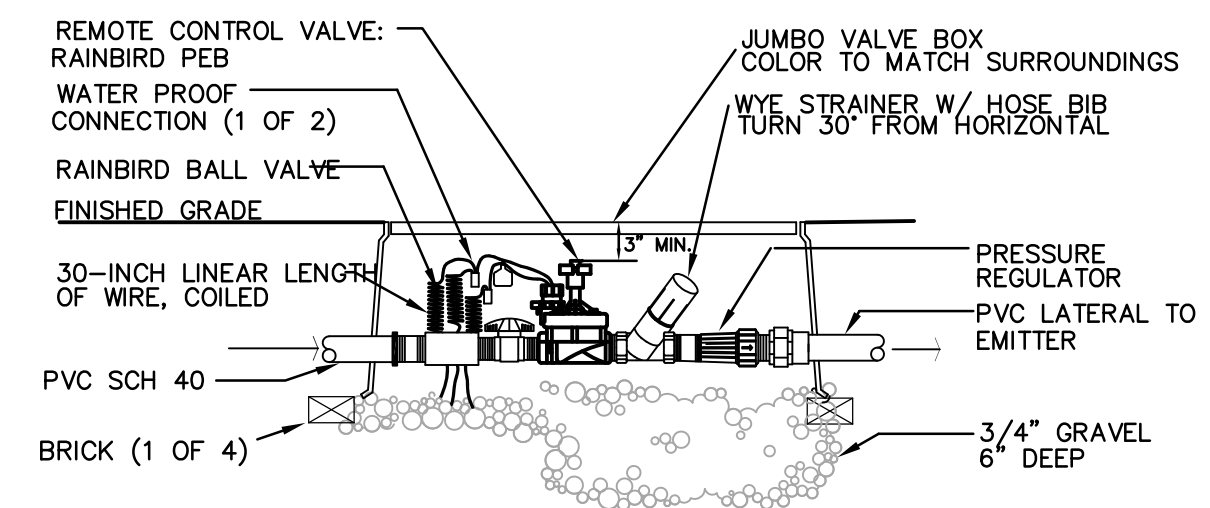
13 BACKFLOW PREVENTER CAGE
L3.0 NOT TO SCALE



NOTES: (AS PER THE C.O.P. SUPP. TO MAG STD. STIP. 430.10.1)

- PLANTS PIT BACKFILL MIX SHALL BE AS FOLLOWS:
1 CUBIC YARD OF NATIVE SOIL MIXED THOROUGHLY WITH
1 PART ORGANIC MULCH
4 LBS GYPSUM
1 LBS SULFUR
- PLANT TABS ARE TO BE AGRIFORM (20-10-5) AT THE FOLLOWING RATES:
15 GALLON 4 - 21 GRAM TABLETS
24" BOX 6 - 21 GRAM TABLETS
- ALLOW 6" FOR PLAY FOR TREE IN WIRE LOOPS
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL OR REJECTION AT
PLACE OF GROWTH AND/OR ON SITE

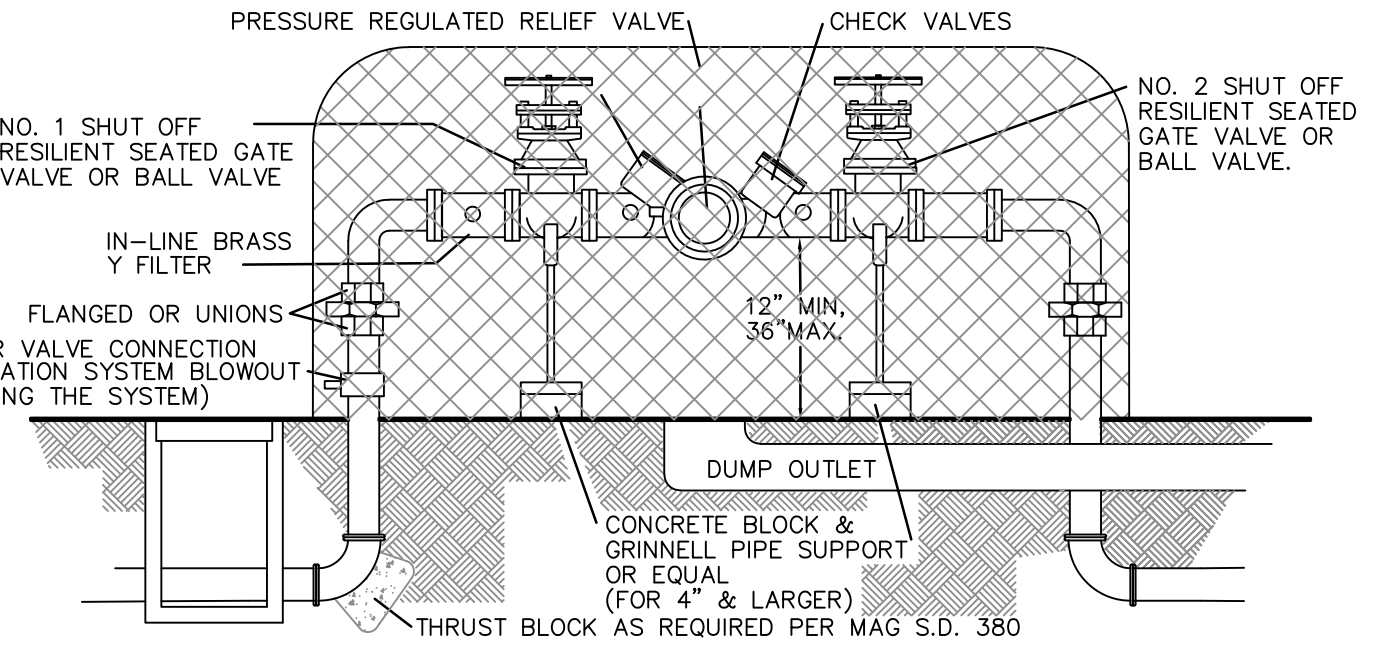
9 TYPICAL TREE STAKING DETAIL
L3.0 NOT TO SCALE



NOTES:

- COMPACT SOIL AROUND VALVE BOXES TO SAME DENSITY AS UNDISTURBED
ADJACENT SOIL
- THOROUGHLY FLUSH ALL LINES BEFORE INSTALLING VALVES.
- ALL WIRE SPLICES ARE TO BE MADE INSIDE VALVE BOXES.
- ALL THREADED CONNECTIONS TO BE COATED W/ RECTORSEAL #5

5 EMITTER VALVE MANIFOLD
L3.0 NOT TO SCALE



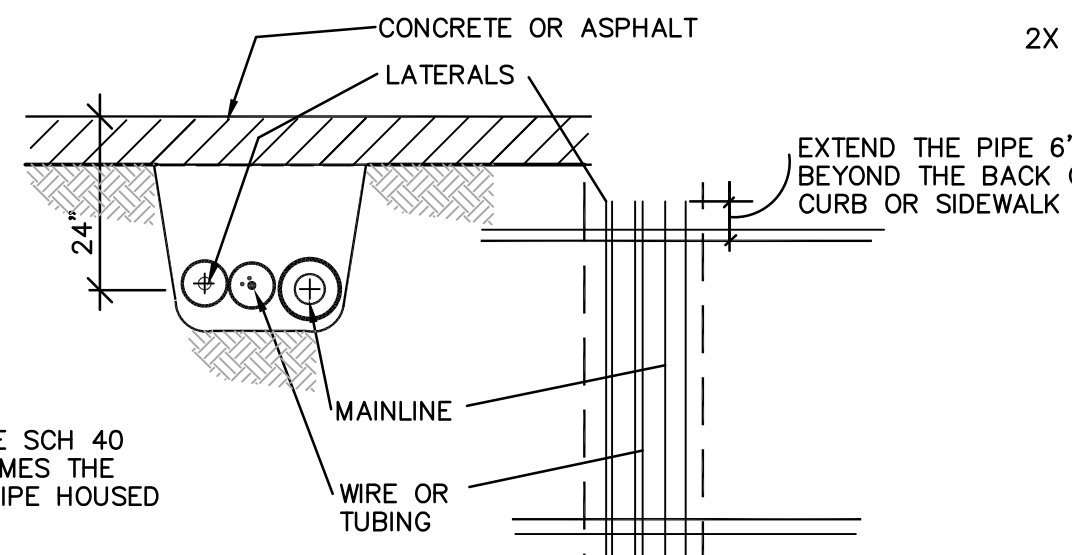
A CORRECT REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) INSTALLATION IS SHOWN
ABOVE. THERE MUST NOT BE ANY CONNECTIONS ON THE SERVICE LINE BETWEEN THE
RPA AND THE WATER METER. PROTECTIVE CAGES ARE OPTIONAL, AND WHEN INSTALLED,
MUST MEET CLEARANCE REQUIREMENTS IN ADDITION TO PROVIDING SIDE AND TOP ACCESS.
CAGES MUST NOT RETAIN WATER. THE ASSEMBLY MUST BE ACCESSIBLE AT ALL TIMES.
THE RPA MUST BE INSTALLED ABOVE GROUND, AND AS CLOSE TO THE WATER METER AS
POSSIBLE. THE ASSEMBLY MUST BE PROTECTED FROM FREEZING.

NOTE: DISTANCE FROM THE BOTTOM OF P.R.V. TO THE DRAIN OPENING MUST BE A MIN.
OF TWICE THE DIA. OF THE ASSEMBLY PIPING.

INSTALLATION MUST MEET UNIFORM PLUMBING CODES IN ADDITION TO PRESCOTT VALLEY WATER
STANDARD DETAILS. INSTALLATION MUST BE LEFT EXPOSED UNTIL INSPECTED AND APPROVED
BY PRESCOTT VALLEY CITY UTILITIES.

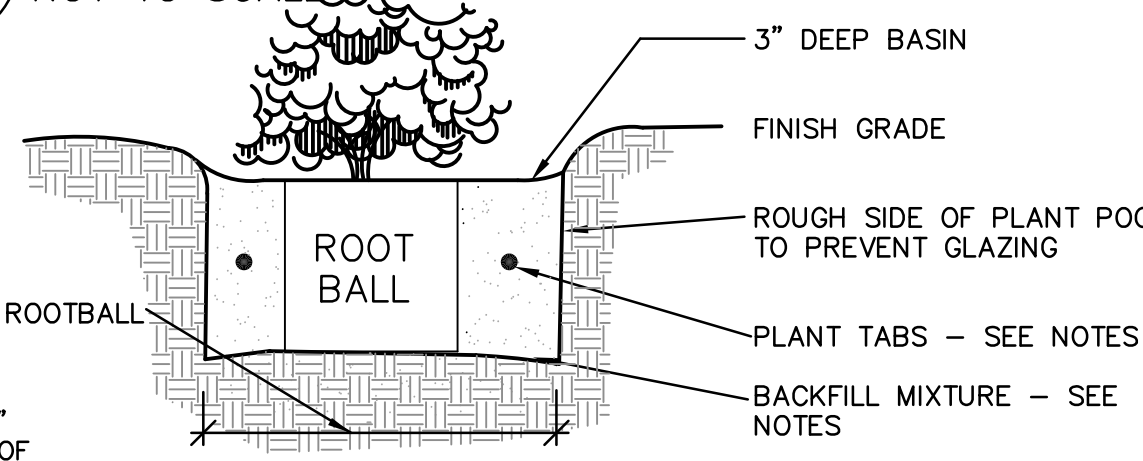
INSTALL GAURDSHACK GS SERIES ENCLOSURE SIZED TO ACCOMMODATE BACKFLOW
PREVENTION ASSEMBLY

1 REDUCED PRESSURE DETAIL
L3.0 NOT TO SCALE



NOTE:
SLEEVES TO BE SCH 40
AND 2 1/2" TIMES THE
SIZE OF THE PIPE HOUSED

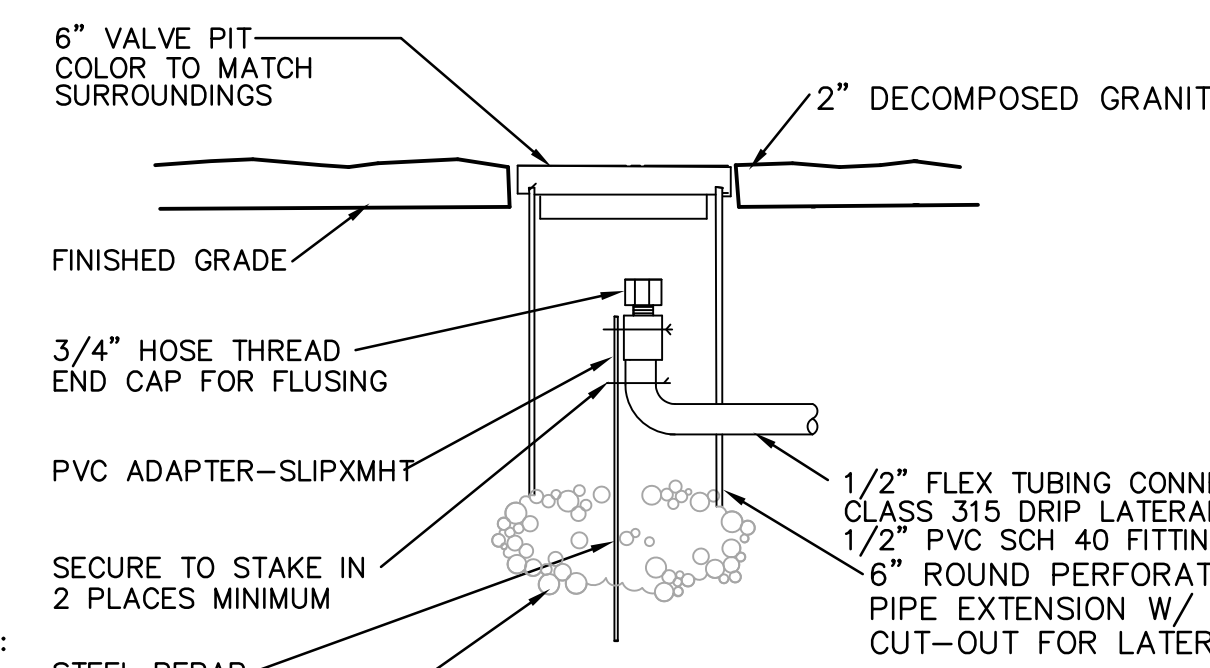
14 TYPICAL SLEEVE DETAIL
L3.0 NOT TO SCALE



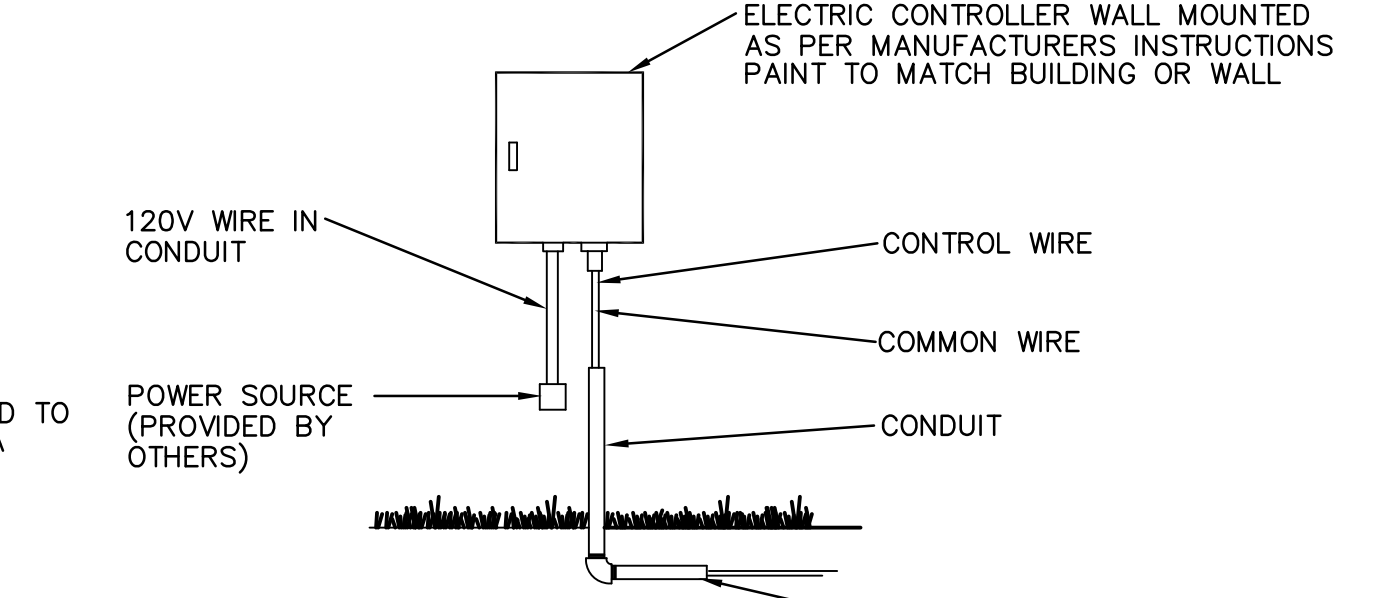
NOTES: (AS PER THE C.O.P. SUPP. TO MAG STD. STIP. 430.10.1)

- PLANTS PIT BACKFILL MIX SHALL BE AS FOLLOWS:
1 CUBIC YARD OF NATIVE SOIL MIXED THOROUGHLY WITH
1 PART ORGANIC MULCH
4 LBS GYPSUM
1 LBS SULFUR
- PLANT TABS ARE TO BE AGRIFORM (20 - 10 - 5) AT THE FOLLOWING RATES:
1 GALLON 1 - 21 GRAM TABLETS
5 GALLON 2 - 21 GRAM TABLETS
- PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL OR REJECTION AT
PLACE OF GROWTH AND/OR SITE.

10 TYPICAL SHRUB DETAIL
L3.0 NOT TO SCALE

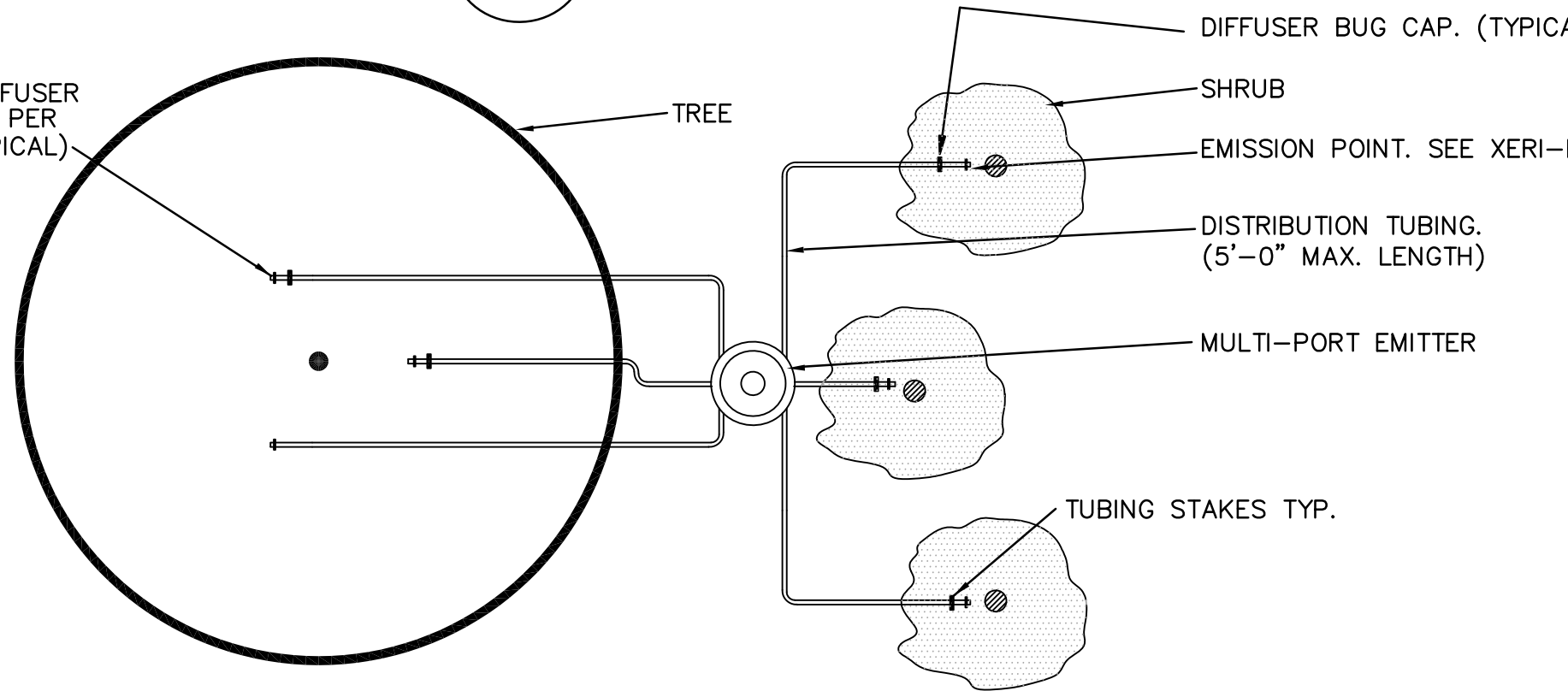


6 DRIP SYSTEM FLUSH PLUG
L3.0 NOT TO SCALE

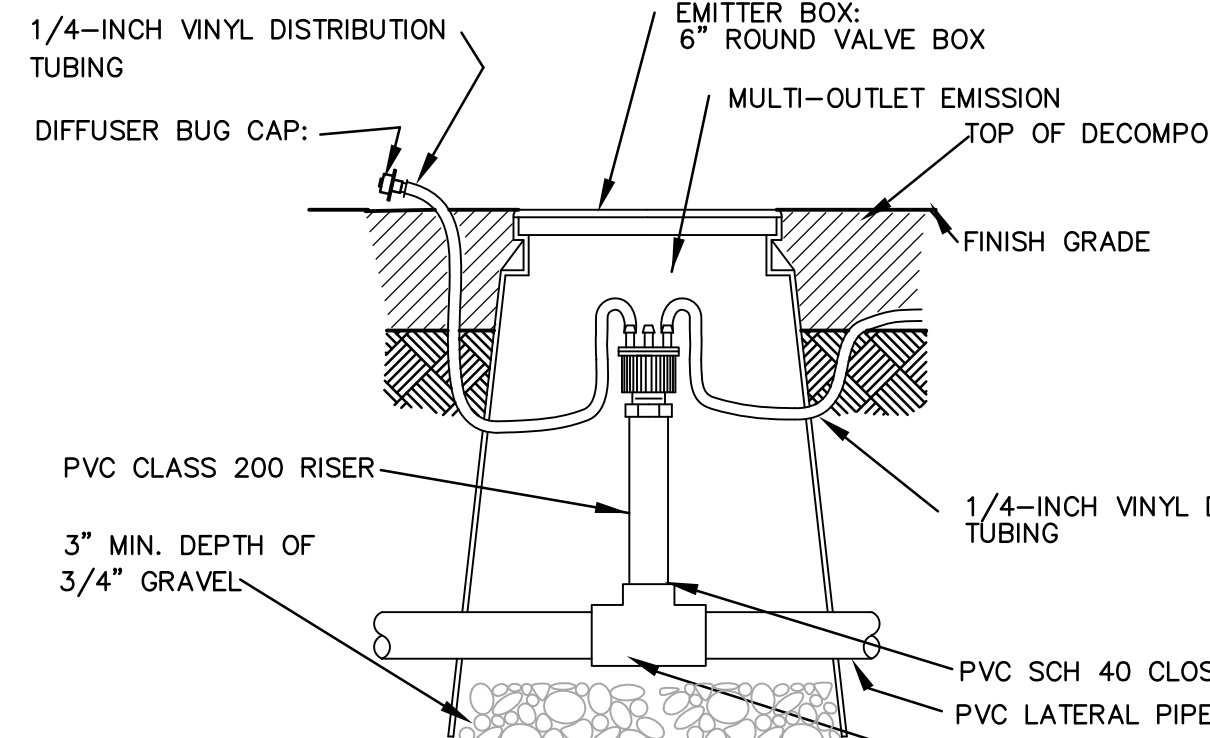


NOTES:
- SEE MANUAL FOR MOUNTING INSTRUCTIONS
- ALL WIRING TO BE INSTALLED AS PER LOCAL CODE.

2 WALL MOUNTED ELEC.
CONTROLLER
L3.0 NOT TO SCALE

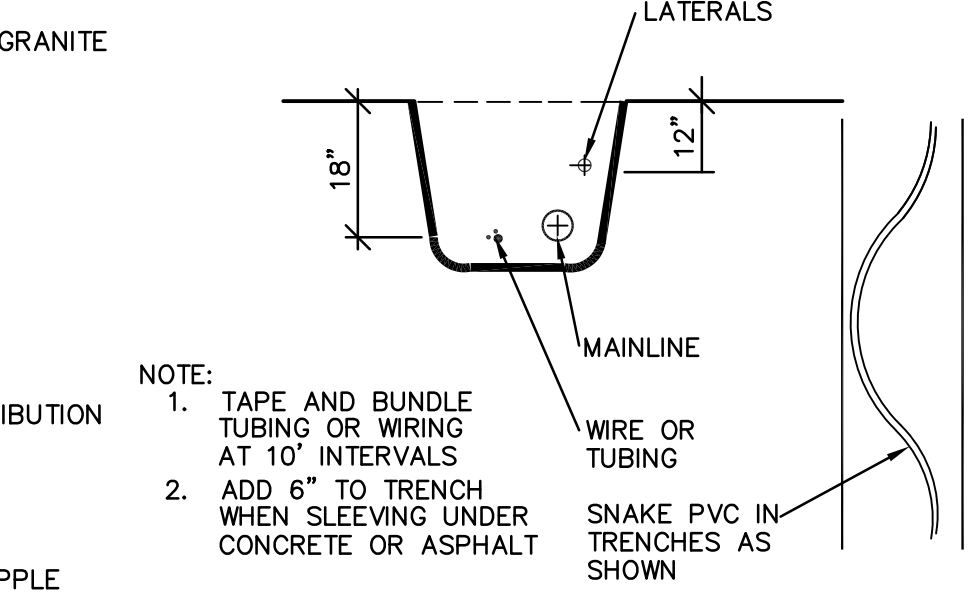


11 MULTI-PORT EMITTER LAYOUT (PLAN VIEW)
L3.0

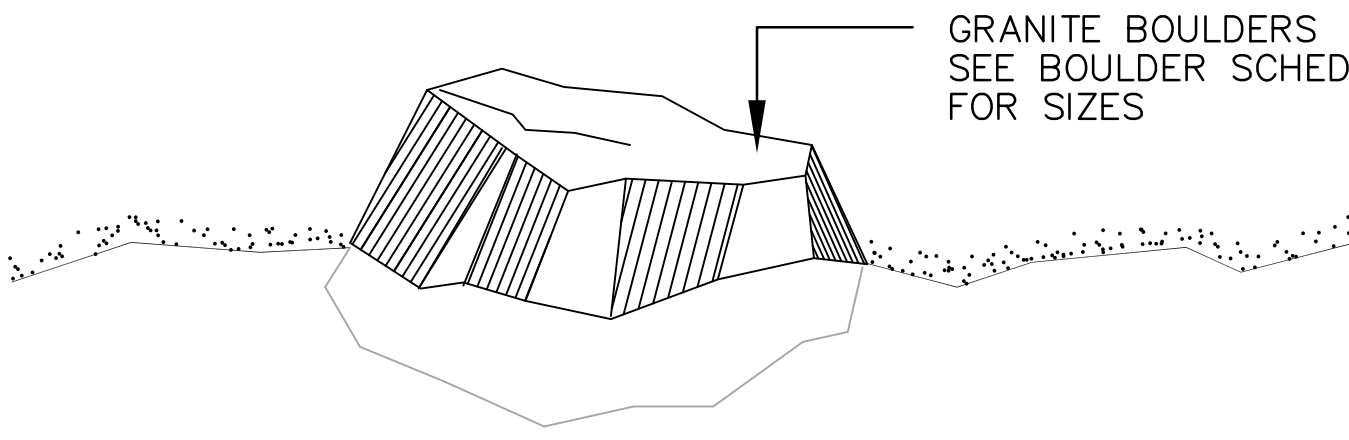


NOTES:
- EMISSION POINTS SHALL BE LOCATED UPHILL OF PLANT, SUPPLYING
WATER TO ROOTBALL

7 MULTI PORT EMITTER
L3.0 NOT TO SCALE

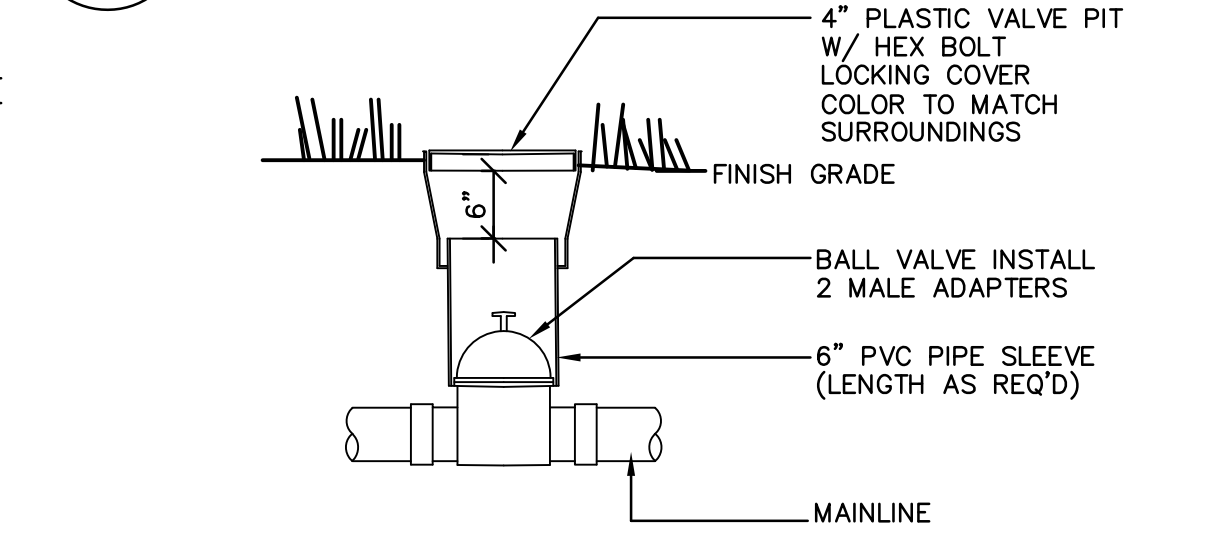


3 TYPICAL TRENCHING DETAIL
L3.0 NOT TO SCALE



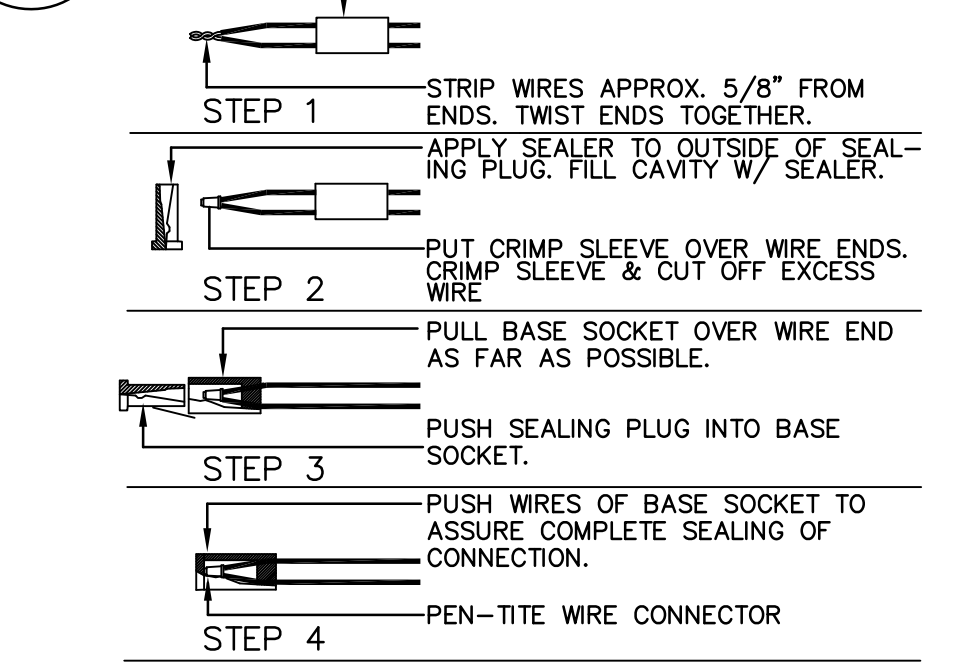
NOTE:
BOULDER SHALL BE INSTALLED WITH
1/3 OF BOULDER BELOW GROUND
AND 2/3 ABOVE FINISH GRADE

12 TYP. BOULDER DETAIL
L3.0 NOT TO SCALE

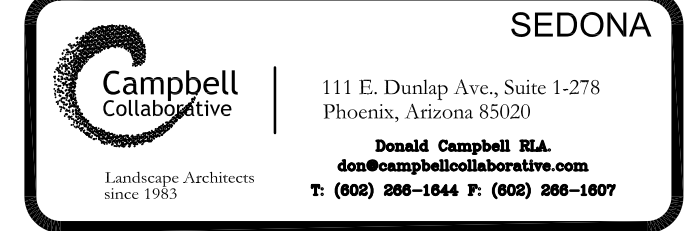
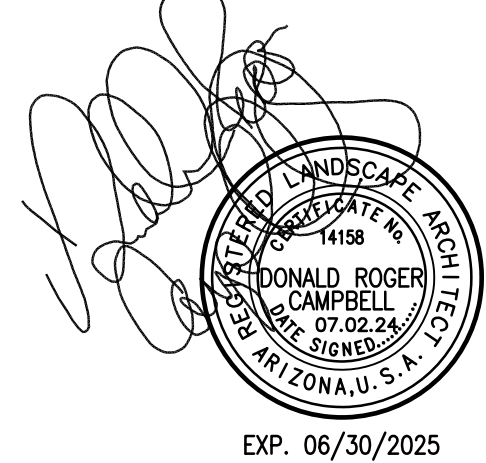


NOTE: COMPACT SOIL AROUND VALVE BOX TO
SAME DENSITY AS UNDISTURBED ADJACENT
SOIL.

8 TYPICAL BALL VALVE
L3.0 NOT TO SCALE



4 WIRE CONNECTIONS
L3.0 NOT TO SCALE



Reina Design Studio
602-909-4805
reinaastudio@aol.com

REVISIONS

NO.	DATE	DESCRIPTION

Client:
Albert Rivera
305 CALLE LINDA, SEDONA, AZ 85336
LANDSCAPE and IRRIGATION DETAILS

NEW SEDONA HOUSE
305 CALLE LINDA, SEDONA, AZ 85336

SHEET TITLE:
L3.0

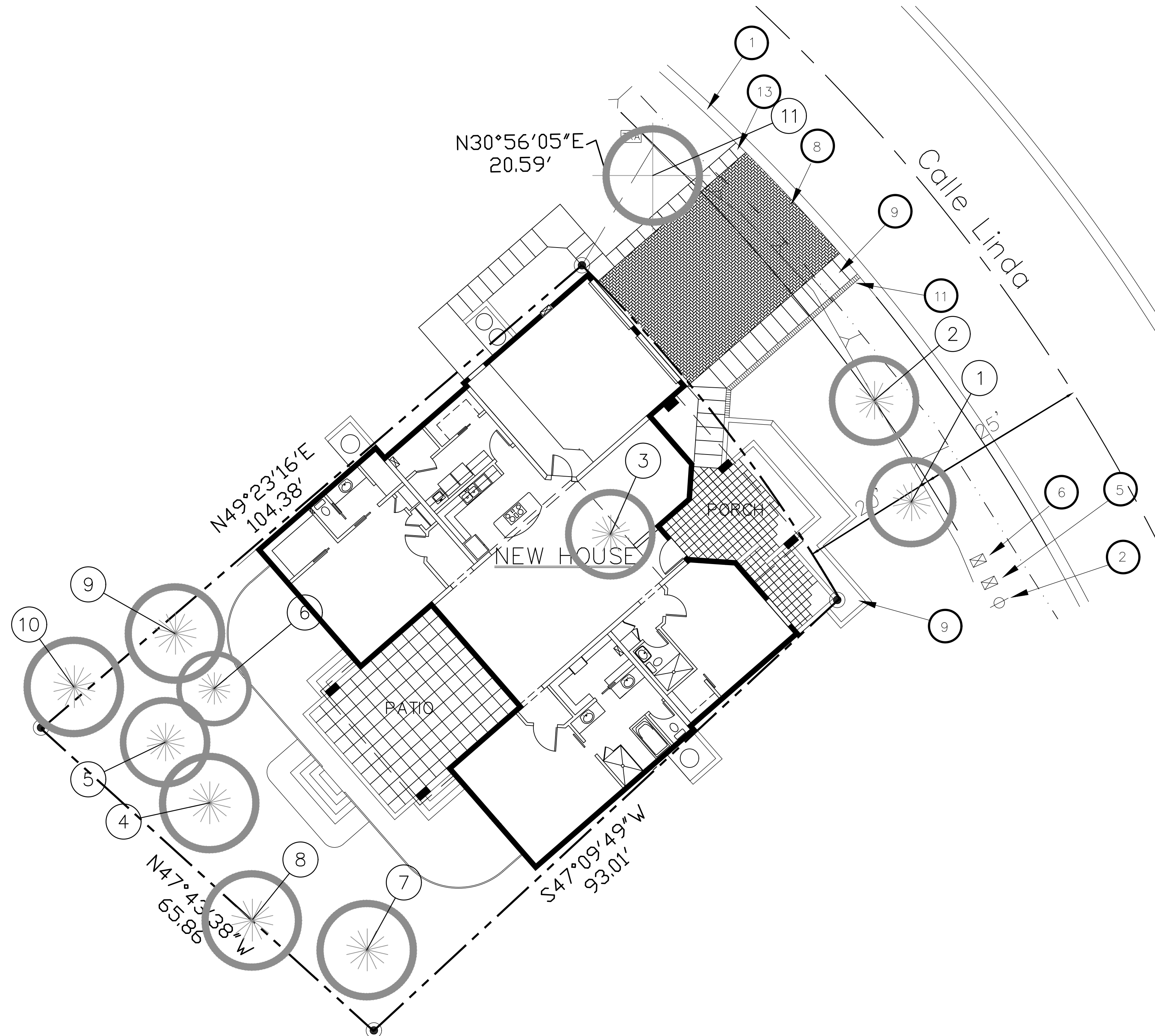
DATE: 07/02/24
JOB. NO. 12-28-69
DRAWN: DRC
CHECKED: DRC

SHEET NO. L3.0

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KEY NOTES

- 1 EXISTING CONC. RIBBON CURB
- 2 SEWER CONNECTION TAP
- 3 NEW ELEC. SERVICE ENTRANCE - 400 AMP
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- 15 EXIST. PAVED CONC. SURFACE
- 16 PROVIDE GEOTECH REPORT RE: PREVIOUS TREES.



INVENTORY/ SALVAGE PLAN

SCALE 1"=10'-0"

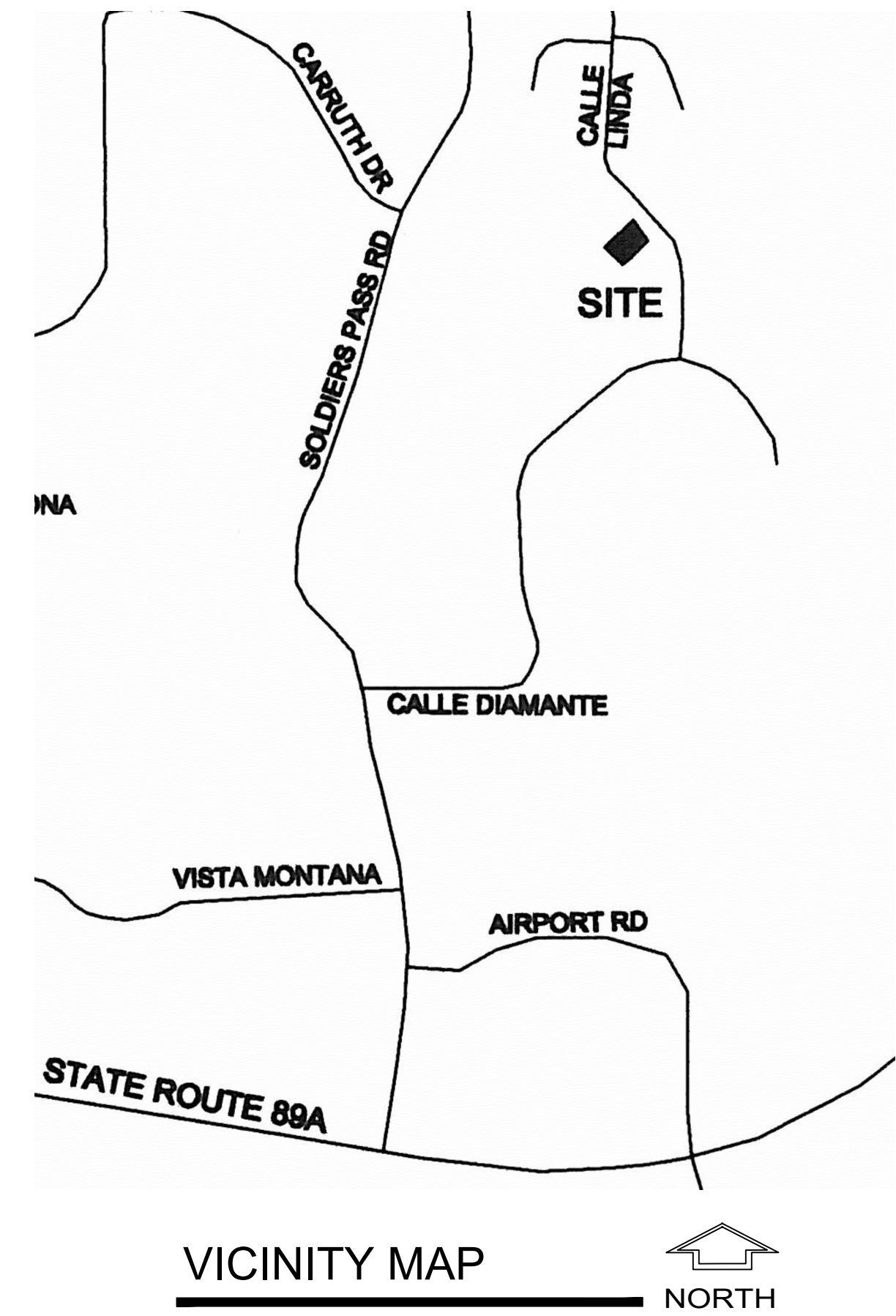
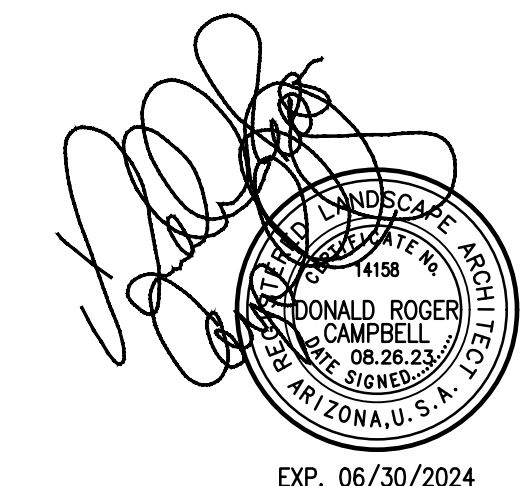


INVENTORY LEGEND

	Botanical Name	Common Name	Intended Designation	Condition	Ribbon Color	Caliper	Height Ft.	Spread Ft.	Comments
1	Pinus edulis	Pinon Pine	R	Healthy	White	8"	11'	10'	
2	Pinus edulis	Pinon Pine	R	Healthy	White	18"	16'	15'	
3	Pinus edulis	Pinon Pine	S	Healthy	Red	8"	10'	9'	
4	Pinus edulis	Pinon Pine	R	Healthy	White	14"	10'	12'	
5	Pinus edulis	Pinon Pine	R	Healthy	White	10"	14'	9'	
6	Pinus edulis	Pinon Pine	R	Healthy	White	6"	8'	6'	
7	Pinus edulis	Pinon Pine	R	Healthy	White	12"	12'	14'	
8	Pinus edulis	Pinon Pine	R	Healthy	White	10"	11'	12'	
9	Pinus edulis	Pinon Pine	R	Healthy	White	11"	9'	10'	
10	Pinus edulis	Pinon Pine	R	Healthy	White	12"	14'	10'	
11	Juniperus deppeana	Alligator Juniper	R	Healthy	White	48"	19'	20'	

PLANT MATERIAL LEGEND

- EXISTING NATIVE ZONE TREES
- 1 Juniperus deppeana Alligator Juniper
 - 2 Pinus edulis Pinon Pine



REVISIONS

NO.	DATE	DESCRIPTION

Client:	Albert Rivera 305 CALLE LINDA, SEDONA, AZ 85336
PROJECT TITLE:	INVENTORY/ SALVAGE PLAN

DATE:	08/26/23	DRAWN:	DRC
JOB. NO.:	12-28-69	CHECKED:	DRC

NEW SEDONA HOUSE 305 CALLE LINDA, SEDONA, AZ 85336	
SHEET NO.:	NP1.0

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GENERAL NOTES:

1. TEMPORARY TRAFFIC SURFACING MUST BE APPLIED PRIOR TO CONSTRUCTION. THE TYPE, LOCATION AND EXTENT OF THE TEMPORARY TRAFFIC SURFACING SHALL BE SPECIFIED ON THE SITE PLAN AND SHALL INCLUDE NO LESS THAN 2" THICKNESS OF 3/4" AGGREGATE, 1" ASPHALT PAVEMENT OR OTHER APPROVED SURFACING. THE SURFACE SHALL EXTEND FROM THE EXISTING ROADWAY TO THE BUILDING FOOTPRINT AND SHALL BE ADEQUATE TO REDUCE TRACKING AND BLOWING DUST.

SITE DATA:

ZONING: R1-10
 SITE AREA: 6,098.4 SF / 0.14 AC (NET)
 COVERAGE: 40.0%
 CONST. TYPE: V-B
 FIRE SPRINKLER: NO (DEFERRED)
 OCCUPANCY: RESIDENTIAL
 BUILDING AREA:
 Liveable: 5,399 SF
 Garage: 1,534 SF
 Porch & Patios: 1,283 SF
 Driveway: 743 SF
 Driveway: 9,149 SF
 Total Area: 7,163 SF

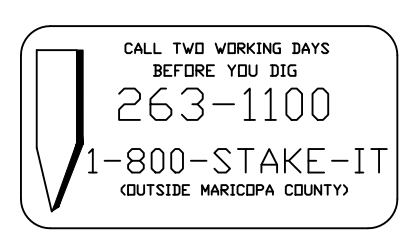
PARCEL NUMBER: 408-46-039



NOTE:
 REFER TO SHT. SP-11 FOR ROOF/GRADES SITE PLAN.

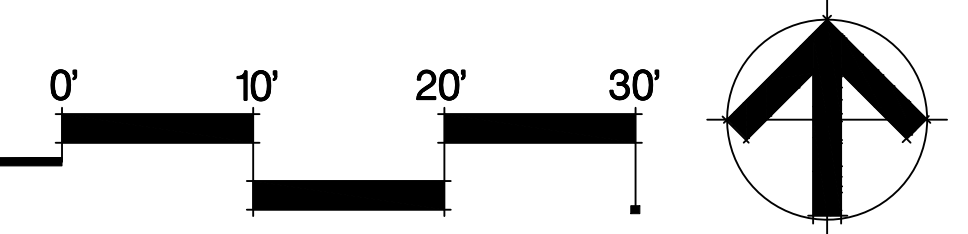
KEY NOTES

- 1 EXISTING CONC. RIBBON CURB
- 2 SEWER CONNECTION TAP
- 3 NEW ELEC. SERVICE ENTRANCE - 400 AMP
- 3A OPTION LOCATION FOR ELEC. PANEL
NEW ELEC. SERVICE ENTRANCE - 400 AMP
- 4 NEW UNDERGROUND POWER FEED TO ELEC. PANEL
- 5 EXISTING ELEC. POWER TAP
- 6 EXISTING WATER METER
- 7 NEW 4'-0" WIDE SIDEWALK USING PAVERS. VERIFY WITH OWNER
- 8 NEW DRIVEWAY w/ BRICK PAVERS
- 9 DELETED PLANTER WALL
- 10 NEW 4" WASTE LINE - CONNECT TO EXIST. PROVIDE NEW CLEAN-OUT AS CODE REQUIRES.
- 11 NEW BRICK EDGING ALONG WALKWAY
- 12 COVD. WALKWAY w/ METAL TRELIS IN BOTH FRONT PORCH AND REAR PATIO - REFER TO ROOF PLAN SHT. A-5
- 13 DELETED
- 14 EXIST. NAT. GAS TAP FIELD VERIFY (OPTION ONLY)
- 15 MAS. WALL ENCL. FOR REFUSE CONTAINERS
- 16 MAS. WALL ENCL. FOR MECH. UNITS
- 17 CONC. STEPS LEADING TO LOWER GRADES - REFER TO CIVIL GRADING & DRAINAGE PLANS TO CONFIRM VERTICAL DROP FROM FIN. FLR. TO FIN. GR.
- 18 MAS. WALL ENCL. FOR MECH. UNITS
- 19 MAS. SCREEN WALLS AT PORCH & PATIO - REFER TO FLOOR PLAN & ELEVATIONS.
- 20 REFER TO PLUMBING PLANS FOR PIPE SIZING, ETC.
- 21 LOWER PATIO SURFACE- 12" WIDE CONC. RIBBON RETAINING WALL SURROUNDING A FIELD OF PAVERS
- 22 NEW GAS METER - SEE PLUMBING
- 23 RIPRAP PADS: 3'x2'x6" MIN.
- 24 INSTALL NEW CONST. FENCE REQUIRED BY THE CITY OF SEDONA.
- 25 TRASH CONTAINER AND PORTABLE TOILET LOCATION REQUIRED BY THE CITY OF SEDONA.
- 26 TEMPORARY ROAD WAY - REFER TO GEN. NOTE #1 REQUIRED BY THE CITY OF SEDONA.



Site Plan (revised)

SCALE: 1"=10'-0"



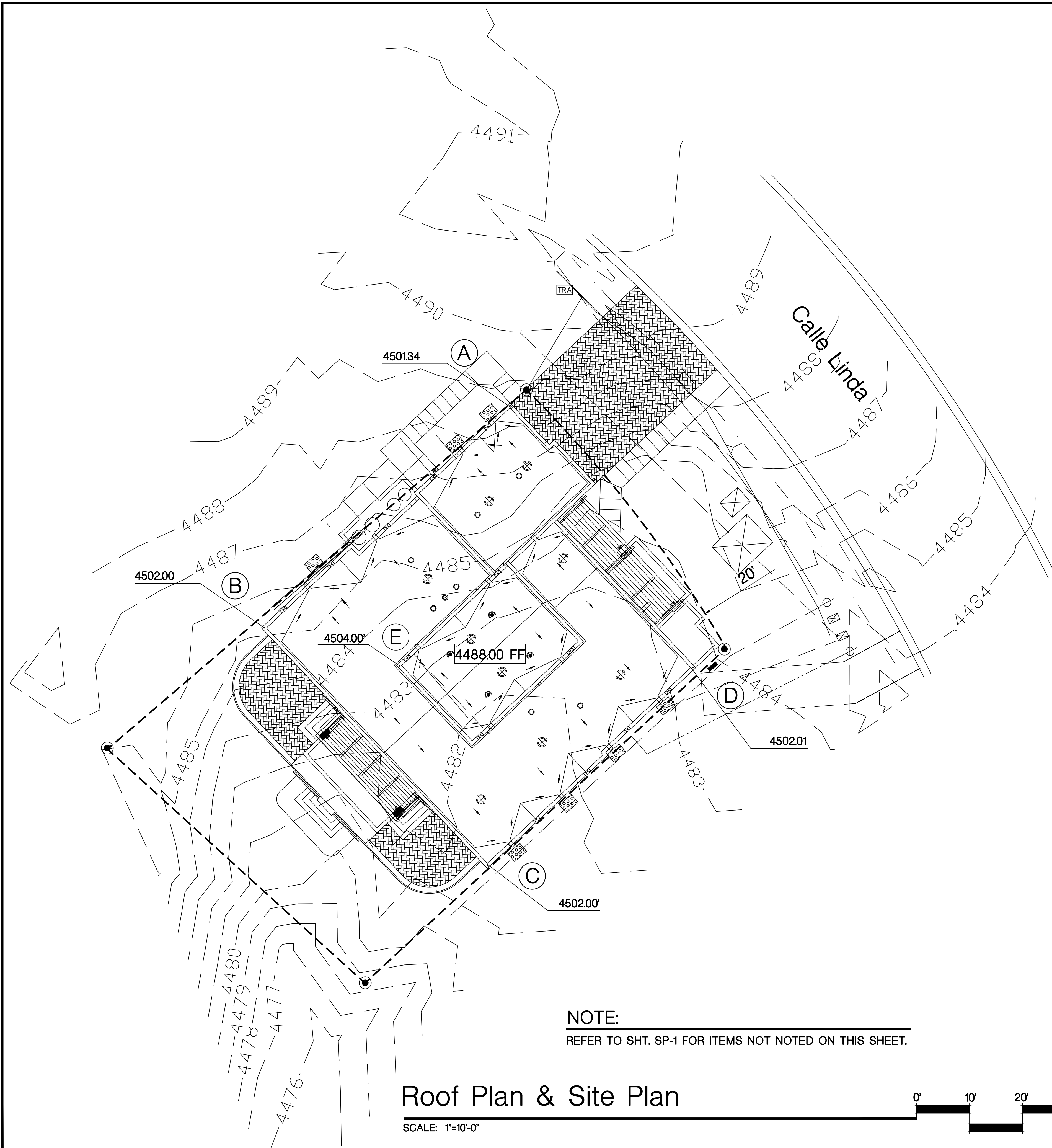
DATE	REVISIONS
08-25-23	CITY COMMENTS
03-15-24	CITY COMMENTS
06-04-24	CITY COMMENTS

Client: **Albert Rivera**
 305 CALLE LINDA, SEDONA, AZ 85336
 SITE PLAN

NEW SEDONA HOUSE
 305 CALLE LINDA, SEDONA, AZ 85336

DATE: 06/04/22	DRAWN: PR
JOB. NO. 12-28-09	CHECKED:
SHEET NO. SP-1	

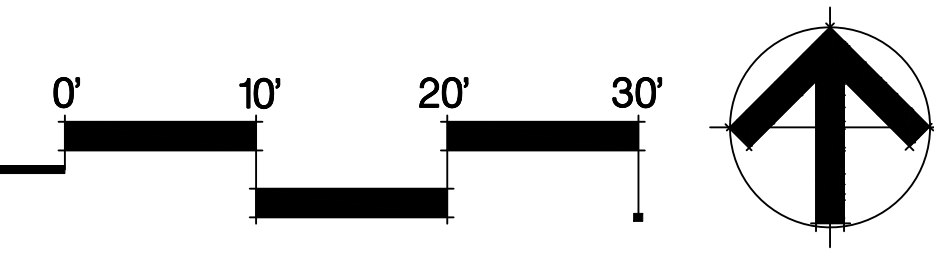
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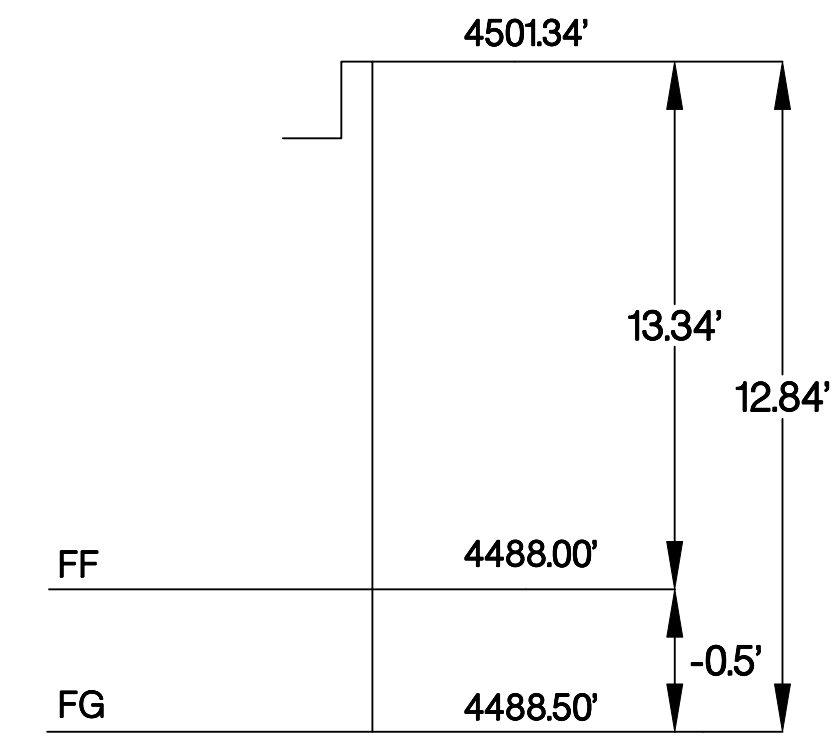
Roof Plan & Site Plan

SCALE: 1"=10'-0"

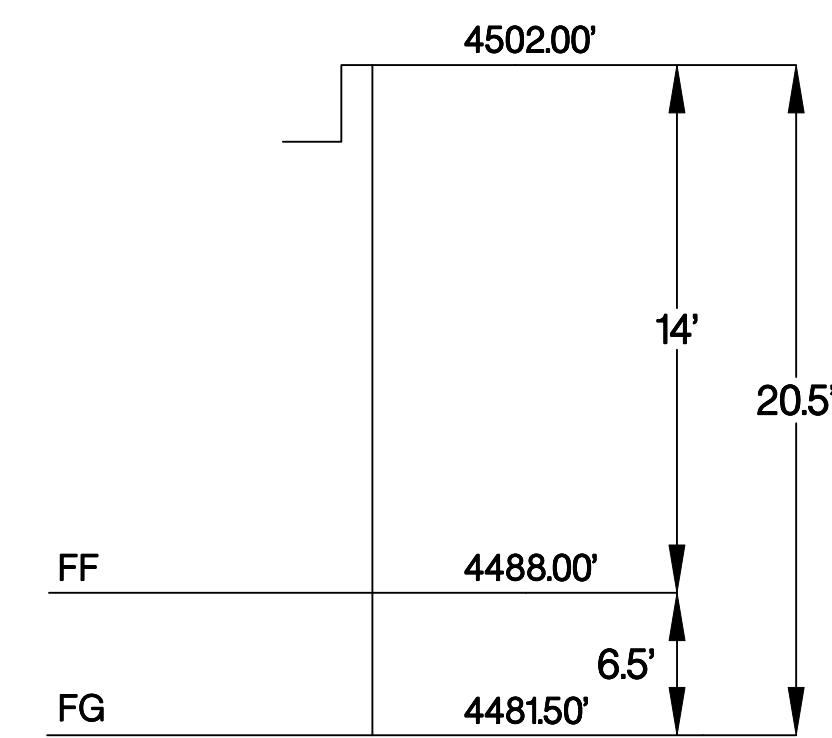
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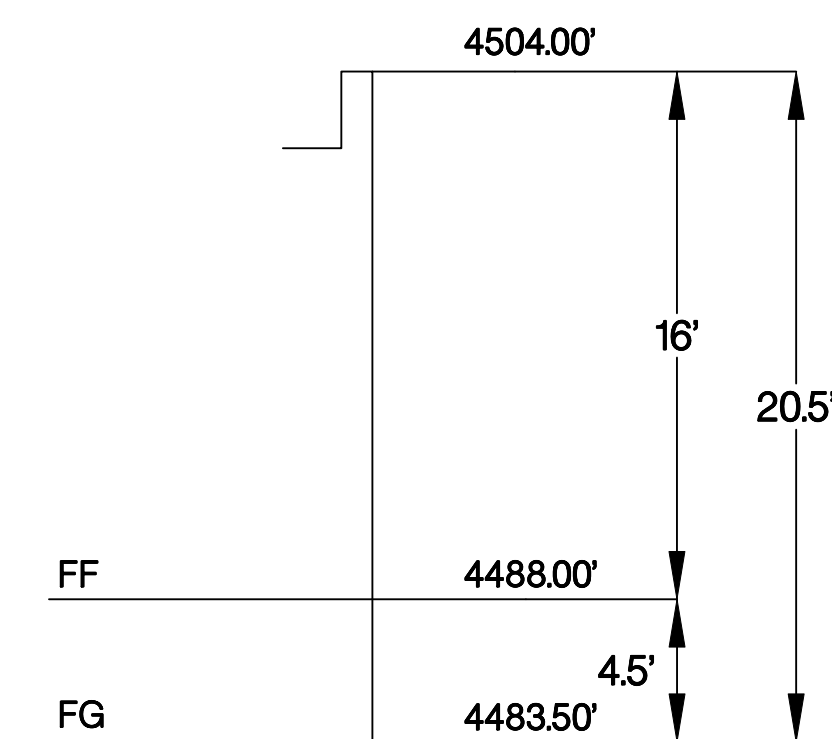
Vertical Differences



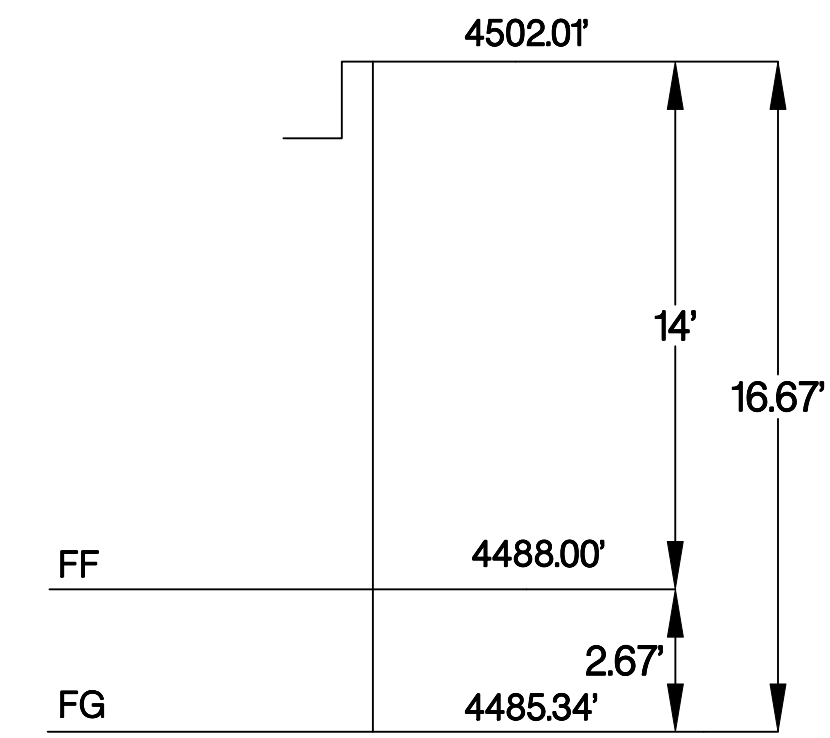
Point A



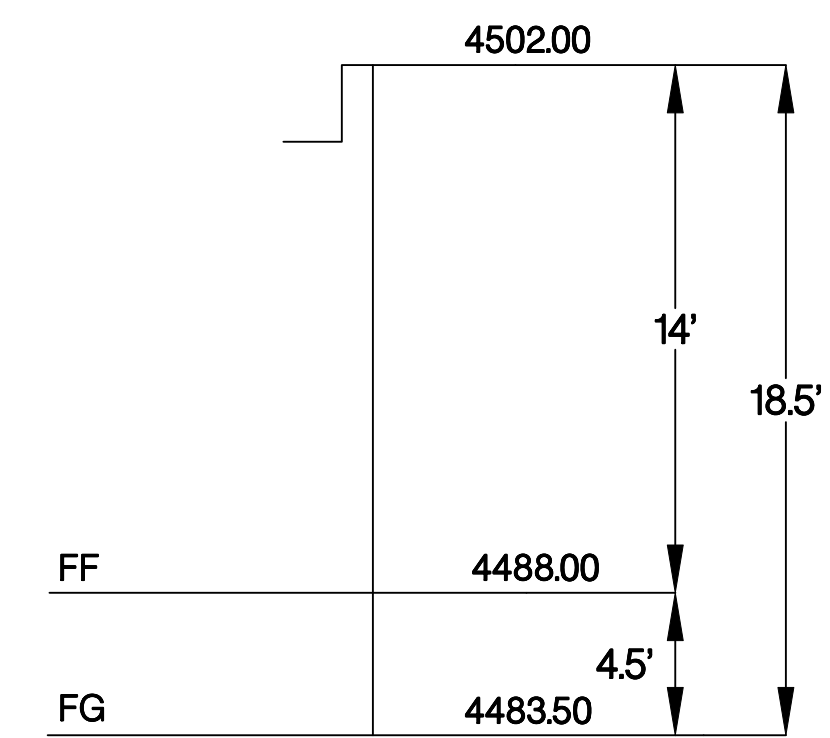
Point C



Point E



Point B



Point D



DATE	REVISIONS
08-25-23	CITY COMMENTS
03-15-24	CITY COMMENTS
06-04-24	CITY COMMENTS
08-24-24	CITY COMMENTS
10-31-24	CITY COMMENTS

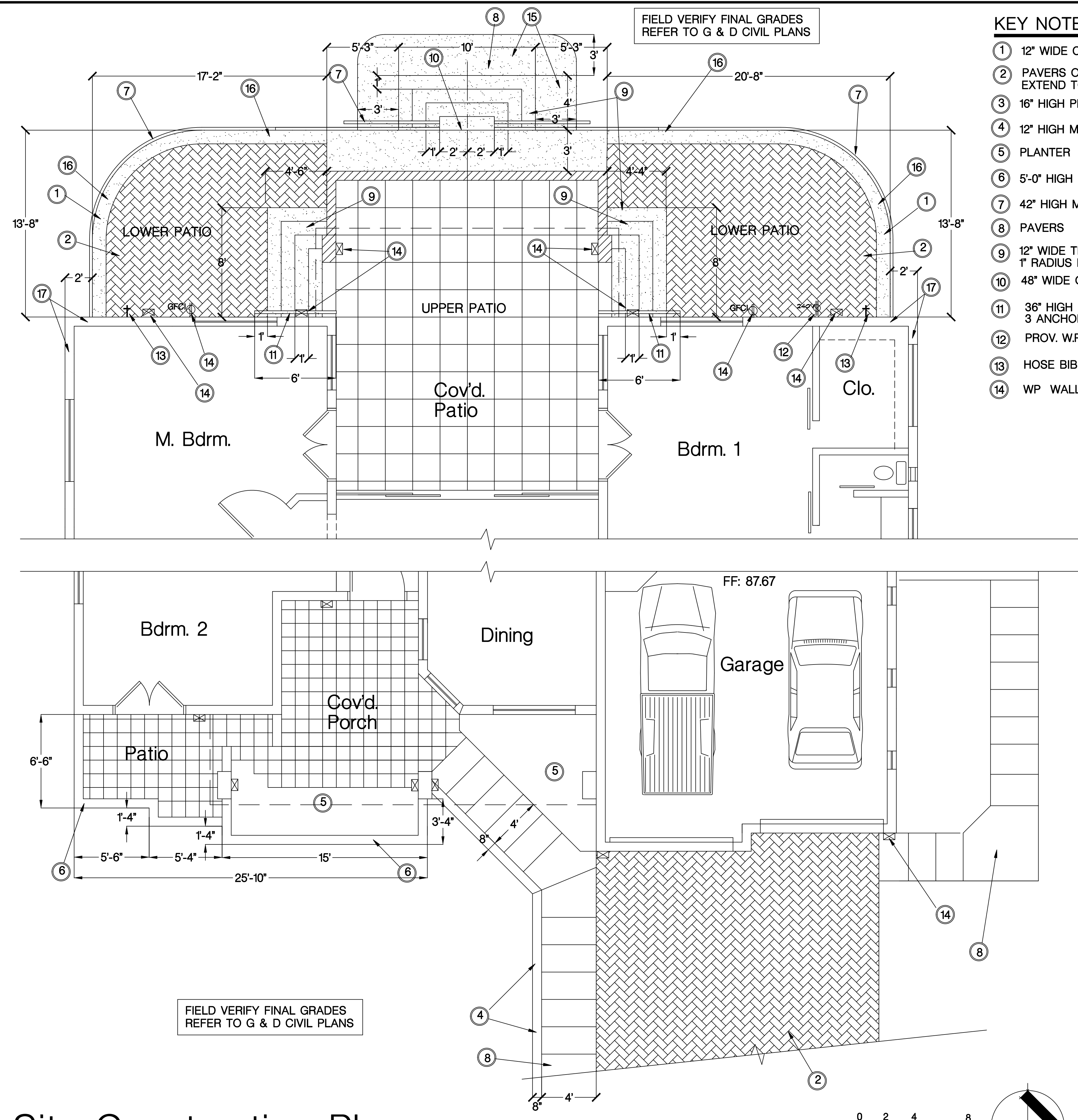
Client:
Albert Rivera
305 CALLE LINDA, SEDONA, AZ 85336

SHEET TITLE:
NEW SEDONA HOUSE
305 CALLE LINDA, SEDONA, AZ 85336

DATE: 06/04/22 **DRAWN:** PR
JOB. NO.: 12-28-22 **CHECKED:**

SHEET NO.:
SP-1.1

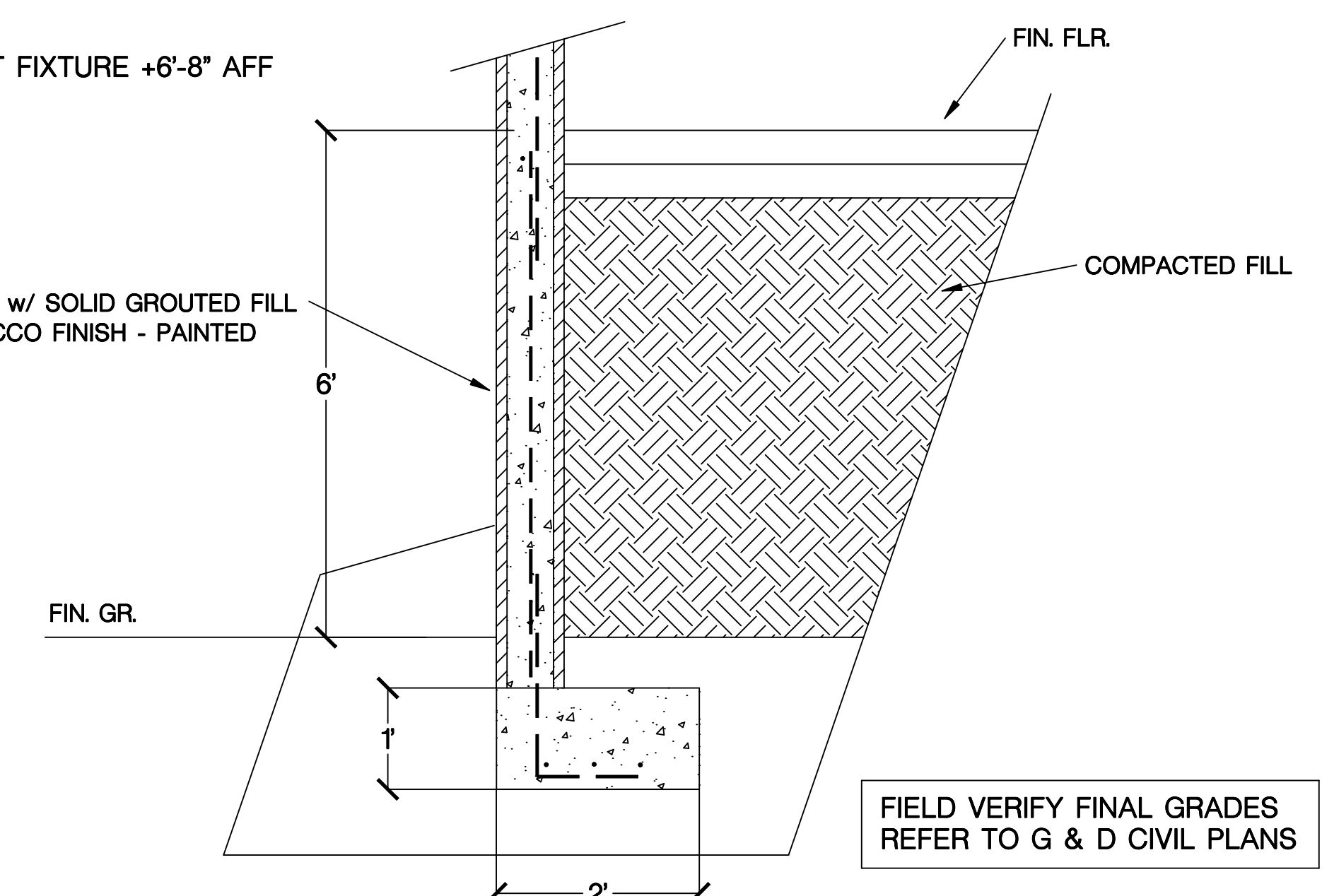
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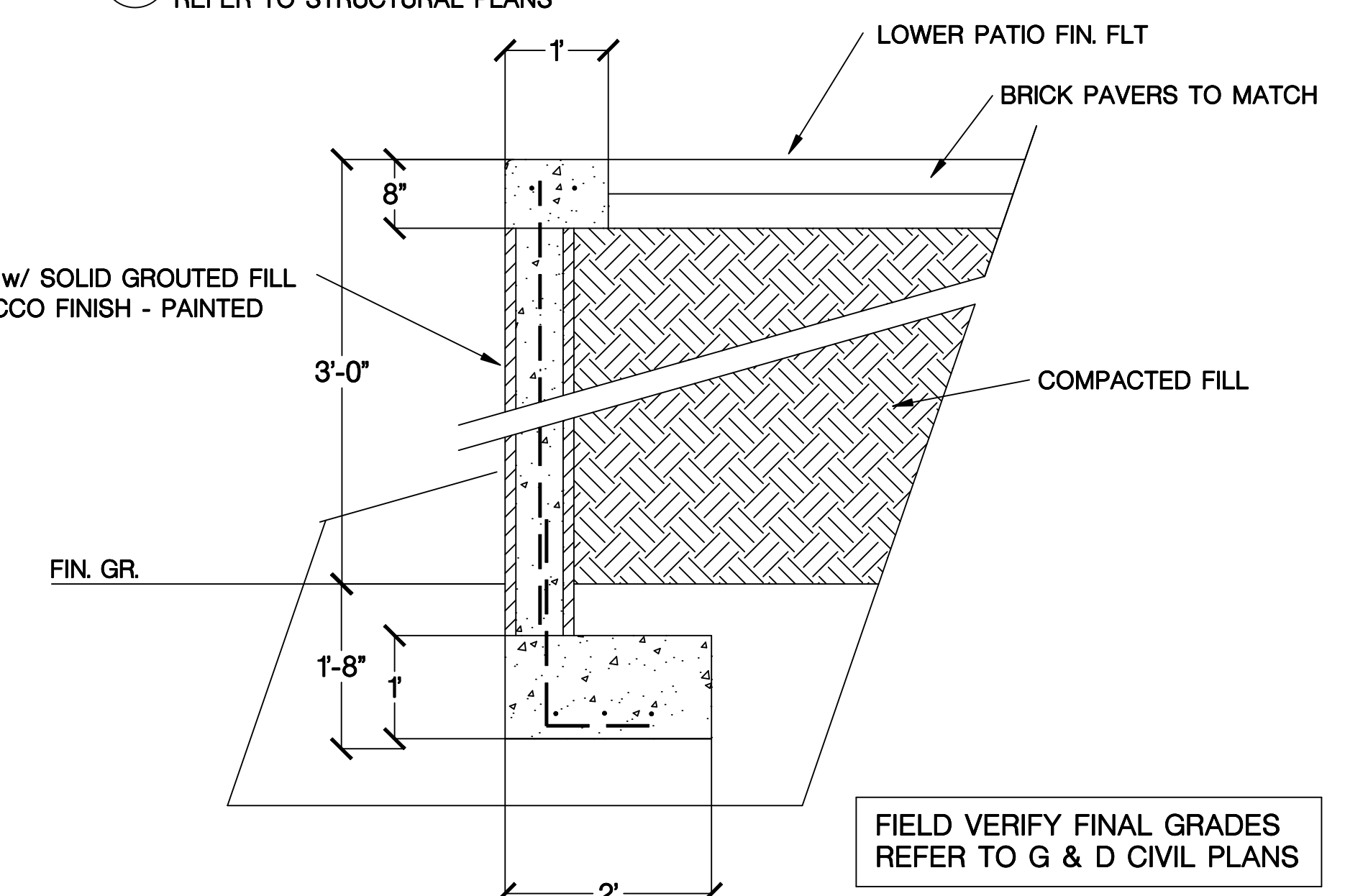
KEY NOTES

- ① 12" WIDE CONC. RIBBON & RETAINING WALL
- ② PAVERS OVER SAND - VERIFY WITH OWNER EXTEND TO EXISTING CONC. RIBBON CURB
- ③ 16" HIGH PLANTER MAS. WALL w/ STUCCO FIN.
- ④ 12" HIGH MAS. WALL ALONG D.W.- SEE SITE PLAN
- ⑤ PLANTER
- ⑥ 5'-0" HIGH MAS. WALL w/ STUCCO FIN.
- ⑦ 42" HIGH METAL RAILING - SEE ELEVATION
- ⑧ PAVERS
- ⑨ 12" WIDE TREAD x 7" HIGH CONC. RISER - w/ 1" RADIUS NOSE - TYP. REFER TO DET. 11/S-9
- ⑩ 48" WIDE OPENING IN RAILING
- ⑪ 36" HIGH SLOPED MET. RAILING @ STEPS 3 ANCHORS MIN. TO WALL
- ⑫ PROV. W.P. 220V OUTLET (TAMPER PROOF)
- ⑬ HOSE BIB
- ⑭ WP WALL MTD. LIGHT FIXTURE +6'-8" AFF

- ⑮ 36" WIDE SIDEWALK @ BASE OF STEPS.
- ⑯ RETAINING WALL - REFER TO DETAIL A BELOW - REFER TO G&D & STRUCTURAL PLANS
- ⑰ RETAINING WALL - REFER TO DETAIL B BELOW - REFER TO G&D & STRUCTURAL PLANS
- ⑱ CONCRETE STEPS AT PATIO: TREADS SHALL HAVE A MIN. DEPTH OF 1" AND THE DIFFERENCE BETWEEN THE SHORTEST AND LONGEST TREADS IN A SET OF STAIRS SHALL NOT EXCEED 3/8". RISERS SHALL HAVE A MAX. STEP RISER HEIGHT OF 7 3/4" AND THE MAX. DIFFERENCE BETWEEN THE TALLEST AND SHORTEST RISER SHALL NOT BE GREATER THAN 3/8".
- ⚠ ALL STAIRS WITH 4 OR MORE RISERS SHALL HAVE A CONT. GRASPABLE HANDRAIL INSTALLED ON AT LEAST ONE SIDE OF THE STAIRWAY. THE HANDRAIL SHALL HAVE BOTH ENDS RETURNED TO THE WALL OR NEWAL POST.

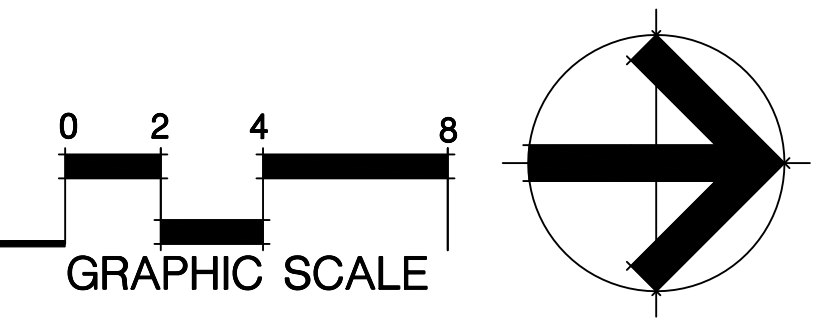


B Retaining Wall @ House
REFER TO STRUCTURAL PLANS



A Retaining Wall @ LowerPatio
REFER TO STRUCTURAL PLANS

Site Construction Plan
SCALE: 1/4" = 1'-0"



Reina Design Studio
602-999-4805
reinastudio@aol.com

DATE	REVISIONS
08-25-23	CITY COMMENTS
06-04-24	CITY COMMENTS

Client: **Albert Rivera**
305 CALLE LINDA, SEDONA, AZ 85336
FLOOR PLAN

NEW SEDONA HOUSE
305 CALLE LINDA, SEDONA, AZ 85336

DATE: 06/12/23	DRAWN: PR
JOB. NO. 2023-08	CHECKED:
SHEET NO. SP-2	

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